



Pat Moeller

Mayor

Eric Pohlman
Vice Mayor

Carla Fiehrer
Council Member

Susan Vaughn
Council Member

Michael Ryan
Council Member

Timothy Naab
Council Member

Robert Brown
Council Member

2 Public Hearings

Call to Order

Offering of Prayer – Council Member Michael Ryan

Pledge of Allegiance

Special Presentations by City Council or the City Manager/ Proclamations/ Verbal Reports

1. Moment of Silence for Russell Carr – World War II Veteran
2. Coronavirus/Covid-19 Presentation Update by Health Commissioner Kay Farrar
3. Street Levy Repaving Input Presentation
4. Capital Project Update

Audience of Citizens

Individuals who wish to make comments regarding items scheduled on the Agenda may speak during this part of the agenda or may reserve the right to speak specifically when that item is up for a vote on Council floor. Individuals who wish to speak regarding items not specifically scheduled may do so at this time. All individuals who intend to address City Council are required to sign in at the table in the back of the room. Each speaker is allowed 5 minutes.

For the time being only those who wish to speak regarding a specific agenda item will be permitted to give their comments in person. If Citizens wish to have an issue addressed by City Council or City Administration they should email those questions or comments to the City Clerk at: nick.garuckas@hamilton-oh.gov. The City Clerk may read your comments into the record during the appropriate Council Meeting. If comments are submitted far enough in advance of an upcoming meeting, an official City response may also be read into the record. You must still provide your name and address for the record. Please be concise with potential comments.

Consent Agenda

The Consent Agenda is intended to allow the City Council to spend its time and energy on the important items on a lengthy agenda. Staff recommends approval of the Consent Agenda. Anyone may request an item on this calendar to be "pulled" off the Consent Agenda and considered separately. Agenda items pulled from the Consent Agenda will be considered separately under Pulled Consent Items.

- Approval of Minutes
- All Staff Reports
- Receive and File Council Information
- Caucus Reports
- [Informational Report – May 2020 Monthly Financial Report](#)
- [Informational Report – May 2020 Monthly Investment Report](#)

Committee of the Whole

The Committee of the Whole is intended to allow the City Council to consider all reports on the Consent or Caucus Agendas under suspended rules that would normally apply to the City Council. City Council may ask questions, provide direction, or comment on reports.



Unless City Council states otherwise this section of the agenda will not be held at this time.

Caucus Agenda June 24, 2020

1. [Recommendation Relative to an application for multiple Conditional Use approvals at 1157 Central Avenue, Hamilton, Ohio, for a Convenience Store with Gasoline Refueling Pumps \(Automotive Service and Minor Repair\). This is a resubmittal due to major changes to the proposal from 2019. \(Hamilton Investments LLC., Applicant\).](#)
2. [Recommendation Relative to the Disposition of the property with the Parcel Number P6412111000032 at 115 Franklin Street.](#)
3. [Recommendation Relative to the Disposition of the property with the Parcel Number P6412003000034 at 830 Ross Avenue.](#)
4. [Recommendation Relative to the Disposition of the property with the Parcel Number P6461046000064 at 847 Fairview Avenue.](#)
5. [Recommendation Relative to the Disposition of the property with the Parcel Number P6451045000009 at 1749 Parrish Avenue.](#)
6. [Recommendation Relative to multiple proposals for Charter amendments as submitted by the Charter Review Commission.](#)

Public Hearings

5. [A Public Hearing relative to the Substantial Amendment of the Annual Action Plan for FY 2019-2020 CDBG-CV \(CARES Act Covid-19 Funding\).](#)
6. [A Public Hearing regarding a request to rezone specific properties zoned “B-3” within the German Village Historic District and properties owned by Industrial Realty Group \(102, 120, 131, 136, 222, & 248 North Third Street; 315 Dayton Street & 341 Linden Street; 119 & 335 North Martin Luther King Jr. Blvd.; 425 Butler Street & 124 North Fifth Street.\) to BPD \(Business Planned Development\).](#)

These icons illustrate which strategic goals Council Actions align to

<p>Work</p> <p>I Generate \$125 mm in new private investment</p>	<p>Live</p> <p>P Exceed total county growth rate median home sale prices</p>	<p>Play</p> <p>R Generate \$40mm in investment for recreational amenities</p>
<p>J Increase gross wages paid by Hamilton employers by \$100mm</p>	<p>O General Operations & Government Business</p>	<p>E Engage 500,000 participants in special events, arts, & recreation activities</p>

Council Actions Pertaining to Legislative Items:





Pending Legislation:

7. [An ordinance approving a request for a conditional use certificate to operate an automotive repair business, at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, property Zoned “I-2” \(Industrial\) Zoning District, situated in the Sixth Ward, City of Hamilton, Ohio. \(Second Reading\).](#) **I P O**
8. [An ordinance approving the final plat for Hickory Woods, Block “D” Subdivision, located at 1 East Persimmon Drive, situated in the First Ward, South Side, of the City of Hamilton, Butler County, Ohio. \(David P. Long of Alum Cliff Industries, LLC., Property Owner\). \(Second Reading\).](#) **I P**
9. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(123 & 127 Pershing Avenue\). \(Second Reading\).](#) **P**
10. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(412 Hudson Avenue\). \(Second Reading\).](#) **P**
11. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(610 South Fourth Street\). \(Second Reading\).](#) **P**
12. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(904 North E Street\). \(Second Reading\).](#) **P**
13. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(2141 Benninghofen Avenue\). \(Second Reading\).](#) **P**
14. [An ordinance amending and supplementing Schedule “A” of the City’s Classification and Compensation Plan, as set forth in Emergency Ordinance No. EOR2020-1-6, adopted January 15, 2020, to establish the new classification of Systems Engineer and to delete the classification of Assistant Manager of Transmission & Distribution Operations. \(Second Reading\).](#) **O**
15. [An Emergency Ordinance amending and supplementing the approved application, Ordinance No. OR2018-3-27, establishing a Designated Outdoor Refreshment Area \(DORA\) in the City of Hamilton, Ohio by expanding said DORA Boundary. \(Second Reading\).](#) **I P R E**





New Legislation:

16. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(420 Short Street\). \(First Reading\).](#) **P**
17. [An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. \(805 Belle Avenue\). \(First Reading\).](#) **P**
18. [An ordinance amending Part Nine, Title One, Street and Sidewalk Areas of the Codified Ordinances of the City of Hamilton, adding a new Chapter 917 Sidewalk Café Regulations. \(First Reading\).](#) **I E**
19. [An ordinance approving the City of Hamilton’s Substantial amendment – Annual Action Plan Update for Fiscal Year 2019-20202, delineating the statement of objectives and proposed use of Community Development Block Grant-CV \(CDBG-CV\) Program Funds, and authorizing the submittal of said plan to the United States Department of Housing and Urban Development of said plan to the United States Department of Housing and Urban Development; to accept and appropriate up to \\$855,817 in CDBG-CV Funds. \(City of Hamilton, Applicant\). \(Two Readings\).](#) **E**
20. [An ordinance making supplemental appropriations for current expenses and other expenditures of the City of Hamilton, during the fiscal year ending December 31, 2020. \(Two Readings\).](#) **O**
21. [An Emergency Ordinance amending the City of Hamilton Zoning Ordinance No. 7503, by changing the zoning of the property located at Parcel Numbers: P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066, situated in the City of Hamilton, Butler County, Ohio, Second Third, and Fourth Wards, from various zoning districts to BPD \(Business Planned Development\) District. \(Rex L. Carpenter, Applicant\). \(Two Readings\).](#) **I P**

Audience of the City Manager

Audience of City Council

Executive Session

Adjournment



City Council Meeting Informational Report

TO: The Honorable Mayor and Members of the City Council
FROM: Dave Jones, Finance Director
RE: MAY, 2020 MONTHLY FINANCIAL REPORT TO COUNCIL

Dear Mayor and Members of Council:

This report is provided for your information and requires no City Council action.

Choose Strategic Goal(s)

- I** Generate 125mm in new private investment
- J** Increase gross wages paid by Hamilton Employers by \$100mm
- P** Exceed total county growth rate median home sale prices
- R** Generate \$40mm in investment for recreational amenities
- E** Engage 50,000 participants annually in special events, arts and recreation activities
- O** General Operations/ Government Business





HAMILTON OHIO

MONTHLY FINANCIAL REPORT
TO THE CITY COUNCIL

Prepared by the Department of Finance

MAY 31, 2020

INCOME STATEMENT GENERAL FUND
MONTH ENDING May 31, 2020
(Budgetary Basis)

Comparative Revenue

Description	Revenue This Month Current Year	Revenue Year To Date	Revenue Prior Year To Date	Revenue Estimated	% Est Received
General	\$1,261,349.40	\$11,746,109.58	\$14,007,904.82	\$30,699,750.00	38.26%
Public Works	150.00	393.00	4,540.75	4,200.00	9.36%
Police	45,760.04	356,998.44	278,212.80	1,006,621.00	35.47%
Fire	129,819.43	786,579.87	827,214.32	1,908,000.00	41.23%
Public Health	24,438.11	320,202.38	271,774.50	443,200.00	72.25%
Parks & Recreation	4,912.02	27,735.14	21,352.33	100,000.00	27.74%
Municipal Court	24,675.14	268,023.61	362,779.58	905,175.00	29.61%
Construction Services	180,715.49	747,398.42	365,031.28	722,320.00	103.47%
Planning	1,910.00	15,080.00	17,540.00	46,500.00	32.43%
Transfer In	0.00	0.00	0.00	0.00	0.00%
Proceeds From Debt	0.00	0.00	0.00	0.00	
Reimbursement of Expense	2,223,782.72	5,378,813.84	5,244,384.91	12,230,505.00	43.98%
TOTAL REVENUES	\$3,897,512.35	\$19,647,334.28	\$21,400,735.29	\$48,066,271.00	40.88%

Comparative Expenditures

Description	Expenditures This Month Current Year	Expenditures & Encumbrances Year To Date	Expenditures & Encumbrances Prior Year To Date	Budget This Year	Budget Used %
City Council	\$5,482.39	\$35,558.43	\$30,651.06	\$80,856.00	43.98%
City Clerk	8,496.51	34,834.83	31,281.45	99,161.00	35.13%
Municipal Court	217,522.86	950,342.80	852,883.56	2,138,220.00	44.45%
City Manager	51,665.30	233,189.68	196,703.84	404,507.00	57.65%
Department of Neighborhoods	29,419.06	134,156.88	0.00	393,947.00	34.05%
Construction Services	62,821.58	254,232.73	278,408.19	566,270.00	44.90%
Planning	48,880.86	324,845.62	309,010.62	672,118.00	48.33%
Law	63,486.17	364,279.84	383,106.46	850,648.00	42.82%
Human Resources	0.00	0.00	122.09	0.00	
Civil Service	50,808.76	202,898.20	190,924.12	504,648.00	40.21%
Finance - Administration	103,946.59	454,576.82	456,162.85	1,162,153.00	39.12%
Finance - Purchasing	22,953.18	106,236.07	113,895.76	291,874.00	36.40%
Finance - Building Services	12,709.05	140,122.46	215,893.45	345,457.00	40.56%
Finance - Taxation	171.73	219,956.59	300,039.73	609,500.00	36.09%
Finance - Utility Cashiers	13,238.62	54,492.00	63,272.50	136,873.00	39.81%
PW - Administration	18,961.91	101,938.23	102,263.70	184,798.00	55.16%
PW - Engineering	56,350.37	231,083.60	229,294.11	568,466.00	40.65%
PW - Traffic Engineering	21,505.31	91,186.66	88,017.77	218,528.00	41.73%
PW - Signal	45,225.15	196,031.67	191,648.50	295,274.00	66.39%
Police	1,612,170.53	6,775,547.87	6,565,419.90	16,499,761.00	41.06%
Bldg Maint - Criminal Justice	12,864.81	96,884.81	128,355.91	166,860.00	58.06%
Corrections	0.00	1,440.00	207,191.75	1,440.00	100.00%
Fire	1,087,177.04	4,592,977.27	4,384,005.28	11,232,434.00	40.89%
Fire Building Maintenance	11,406.25	184,692.96	215,811.27	261,018.00	70.76%
EMT/Paramedic Levy Expenditures	311,703.68	1,604,166.70	1,519,669.69	2,478,001.00	64.74%
Health - Administration	60,536.93	296,160.90	225,026.15	599,403.00	49.41%
Environmental Health	49,196.24	225,491.37	265,982.91	530,786.00	42.48%
Nursing	1,107.00	16,192.60	47,133.70	144,308.00	11.22%
Special Approp - General	336,627.82	2,937,560.78	4,058,420.35	4,015,518.00	73.16%
Special Appropriations	48,875.94	675,257.08	730,553.81	1,778,164.00	37.97%
Income Tax Refunds	0.00	112,879.63	150,984.84	480,000.00	23.52%
Transfers Out	48,605.40	605,115.78	289,989.42	1,747,906.00	34.62%
CDBG Expense	11,580.09	33,376.25	348.25	50,000.00	66.75%
TOTAL EXPENDITURES	\$4,425,497.13	\$22,287,707.11	\$22,822,472.99	\$49,508,897.00	45.02%
FUND NET GAIN / LOSS	(\$527,984.78)	(\$2,640,372.83)	(\$1,421,737.70)	(\$1,442,626.00)	

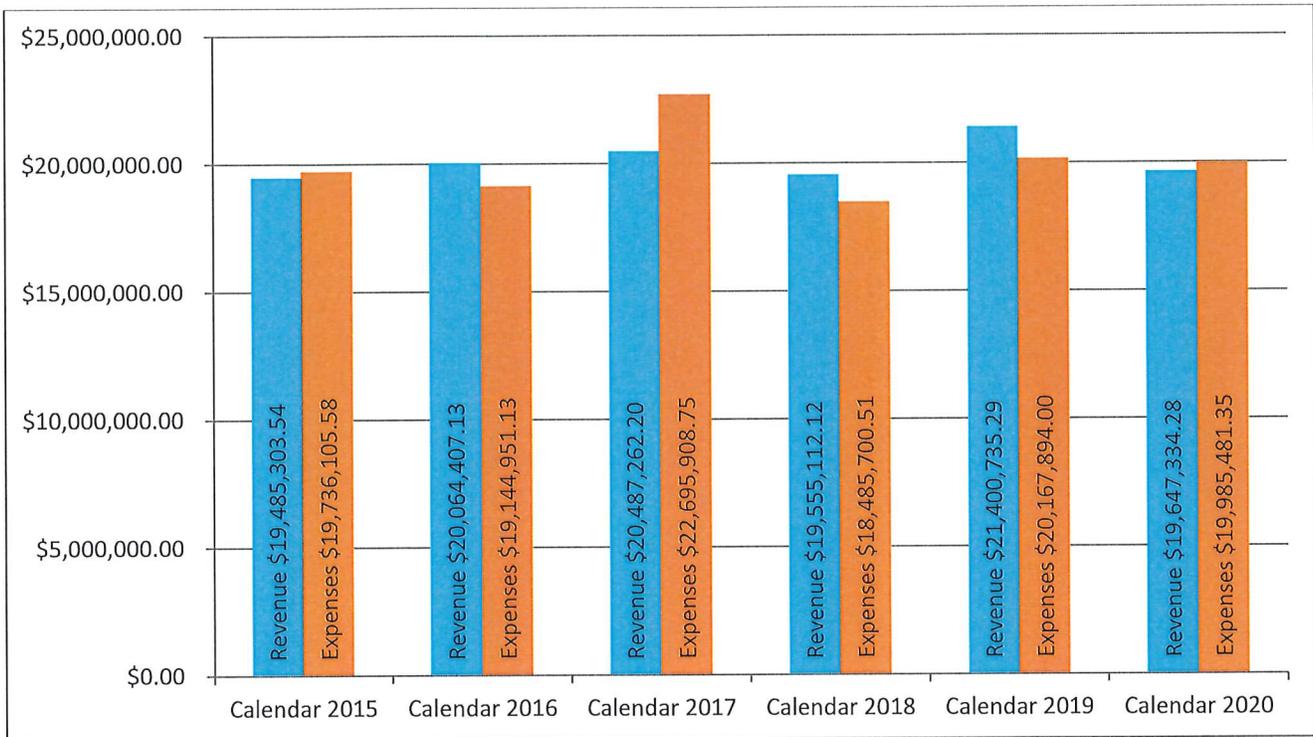
**INCOME STATEMENT - GENERAL FUND
SUPPORTING SCHEDULE - GENERAL REVENUE
MONTH ENDING May 31, 2020
(BUDGETARY BASIS)**

	Revenue This Month Current Year	Revenue Year To Date	Revenue Prior Year To Date	% Increase/ Decrease Over Prior Year	Revenue Estimated	% Est. Received
TAXES						
Real Estate Taxes	\$ -	\$ 1,217,134.56	\$ 1,221,998.65	-0.40%	\$ 2,300,000.00	52.92%
Personal Property Taxes	-	-	-	-	-	-
Income Tax - General Fund	736,526.39	7,858,397.84	10,185,258.42	-22.85%	22,000,000.00	35.72%
Income Tax - JEDD 1	25,987.50	174,244.92	180,996.31	-3.73%	430,000.00	40.52%
Income Tax - JEDD 2	6,187.50	42,102.33	47,234.69	-10.87%	135,000.00	31.19%
Income Tax - JEDD 3	-	4,741.65	1,692.12	180.22%	10,000.00	47.42%
Motel Tax	16,790.17	42,739.45	44,280.15	-3.48%	150,000.00	28.49%
2/3rd KWH Tax Revenue	97,212.25	559,440.81	579,987.53	-3.54%	1,550,000.00	36.09%
1/3rd KWH Tax Revenue	48,605.40	279,700.78	289,989.42	-3.55%	775,000.00	36.09%
SUB-TOTAL-TAXES	\$ 931,309.21	\$ 10,178,502.34	\$ 12,551,437.29	-18.91%	\$ 27,350,000.00	37.22%
LICENSES & PERMITS:						
Cable TV Franchise Fees	\$ 188,012.25	\$ 378,746.73	\$ 383,676.56	-1.28%	\$ 650,000.00	58.27%
Other Licenses, Permits	190.00	9,075.00	2,305.00	293.71%	6,450.00	140.70%
SUB-TOTAL LICENSES & PERMITS	\$ 188,202.25	\$ 387,821.73	\$ 385,981.56	0.48%	\$ 656,450.00	59.08%
INTERGOVERNMENTAL						
ULGF - County	\$ 66,643.11	\$ 381,373.26	\$ 410,524.61	-7.10%	\$ 975,000.00	39.12%
ULGF - Direct	11,122.59	67,535.63	-	100.00%	196,000.00	34.46%
Inheritance Taxes	-	-	-	-	-	-
Other Intergovernmental	-	163,944.66	159,596.06	2.72%	398,500.00	41.14%
SUB-TOTAL INTERGOVERNMENTAL	\$ 77,765.70	\$ 612,853.55	\$ 570,120.67	7.50%	\$ 1,569,500.00	39.05%
CHARGES FOR SERVICES	\$ 23,791.39	\$ 187,736.79	\$ 171,165.05	9.68%	\$ 690,100.00	27.20%
INVESTMENT INCOME	\$ 37,106.85	\$ 258,821.15	\$ 189,561.70	36.54%	\$ 175,000.00	147.90%
MISCELLANEOUS	\$ 3,174.00	\$ 120,374.02	\$ 139,638.55	13.80%	\$ 258,700.00	46.53%
TOTAL	\$ 1,261,349.40	\$ 11,746,109.58	\$ 14,007,904.82	-16.15%	\$ 30,699,750.00	38.26%

**INCOME STATEMENT - GENERAL FUND
SUPPORTING SCHEDULE - REIMBURSEMENT OF EXPENSE
MONTH ENDING May 31, 2020
(BUDGETARY BASIS)**

	Revenue This Month Current Year	Revenue Year To Date	Revenue Prior Year To Date	% Increase/ Decrease Over Prior Year	Revenue Estimated	% Est. Received
REIMBURSEMENT OF EXPENSE:						
FROM FUND:						
One Renaissance Center Fund 200	\$ 5,475.91	\$ 26,484.80	\$ 33,459.82	-20.85%	\$ 85,600.00	30.94%
FEMA Reimbursement Fund 205	-	-	-	-	-	-
Stormwater Fund 279	13,432.97	59,967.48	60,843.97	-1.44%	135,950.00	44.11%
Refuse Fund 280	5,005.28	26,512.21	26,754.23	-0.90%	49,200.00	53.89%
Street Maintenance Fund 281	49,507.20	200,062.30	190,915.40	4.79%	455,890.00	43.88%
Gas Fund 501	98,830.14	526,276.32	491,857.06	7.00%	1,333,070.00	39.48%
Electric Fund 502	119,708.96	601,840.60	558,869.52	7.69%	1,502,210.00	40.06%
Water Fund 503	98,830.14	526,276.32	491,857.06	7.00%	1,333,070.00	39.48%
Wastewater Fund 504	86,606.89	456,714.10	433,755.98	5.29%	1,116,920.00	40.89%
Parking Fund 550	4,301.90	17,714.34	17,091.37	3.64%	42,595.00	41.59%
Golf Fund 560	-	-	-	-	-	-
CDBG Reimbursement	-	98,548.72	100,563.85	-2.00%	50,000.00	197.10%
Public Safety & Health Inc Tax Fund 210	46,583.33	232,916.65	232,916.65	0.00%	566,000.00	41.15%
SUB-TOTAL GENERAL	\$ 528,282.72	\$ 2,773,313.84	\$ 2,638,884.91	5.09%	\$ 6,670,505.00	41.58%
Law Enforcement Funds:						
Safety Helmet Grant Fund 232	-	-	-	-	-	-
DARE Grant Fund 239	\$ -	\$ -	\$ -	-	\$ -	-
Police Pension Fund 246	130,000.00	130,000.00	130,000.00	0.00%	240,000.00	54.17%
Law Enforcement Block Grant 225	-	-	-	-	-	-
2002 Police Levy Fund 249	390,000.00	390,000.00	390,000.00	0.00%	725,000.00	53.79%
Court Special Project Fund 207	-	-	-	-	70,000.00	0.00%
Public Safety & Health Inc Tax Fund 210	113,750.00	568,750.00	568,750.00	0.00%	1,380,000.00	41.21%
CDBG Reimbursement	-	-	-	-	-	-
SUB-TOTAL POLICE	\$ 633,750.00	\$ 1,088,750.00	\$ 1,088,750.00	0.00%	\$ 2,415,000.00	45.08%
Fire Funds:						
Fire Pension Fund 250	\$ 128,000.00	\$ 128,000.00	\$ 128,000.00	0.00%	\$ 240,000.00	53.33%
Charter Fire Force Fund 252	430,000.00	430,000.00	430,000.00	0.00%	800,000.00	53.75%
2002 Fire Levy Fund 253	390,000.00	390,000.00	390,000.00	0.00%	725,000.00	53.79%
Public Safety & Health Inc Tax Fund 210	113,750.00	568,750.00	568,750.00	0.00%	1,380,000.00	41.21%
CDBG Reimbursement	-	-	-	-	-	-
SUB-TOTAL FIRE	\$ 1,061,750.00	\$ 1,516,750.00	\$ 1,516,750.00	0.00%	\$ 3,145,000.00	48.23%
TOTAL	\$ 2,223,782.72	\$ 5,378,813.84	\$ 5,244,384.91	2.56%	\$ 12,230,505.00	43.98%

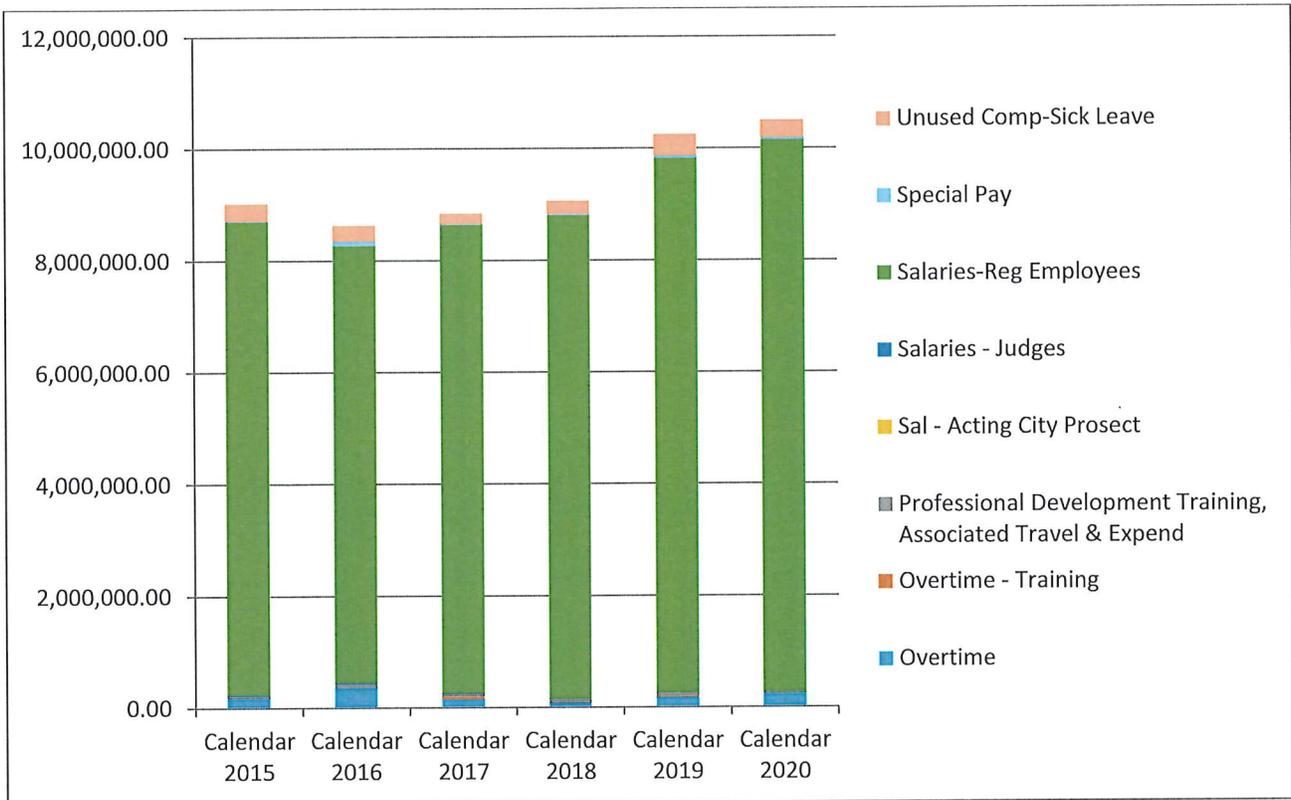
GENERAL FUND: 2020 STATEMENT OF ACTIVITIES YTD THROUGH MAY



Account Classification	Calendar 2015	Calendar 2016	Calendar 2017	Calendar 2018	Calendar 2019	Calendar 2020
Revenue	19,485,303.54	20,064,407.13	20,487,262.20	19,555,112.12	21,400,735.29	19,647,334.28
Charges For Services	5,977,425.85	6,209,110.68	6,473,760.45	6,447,945.99	6,669,398.61	6,874,292.27
Enterprise Revenues			1,100.00			
Fines And Forfeits	311,465.50	390,940.10	352,548.87	333,280.87	332,887.39	225,435.14
Intergovernmental Revenue	698,241.38	642,758.73	614,309.34	627,745.89	604,342.92	768,291.83
Licenses & Permits	617,287.61	683,259.90	763,604.11	792,239.03	881,389.15	1,256,123.63
Miscellaneous Revenue	75,468.67	169,775.71	295,480.40	156,629.05	353,181.76	337,534.43
Other Financing Sources	0.00		3,756.63	6,318.69	8,098.17	7,154.64
Recreation Fees	10,650.00	0.00	0.00	0.00	0.00	0.00
Taxes	11,180,315.12	11,967,940.01	11,982,702.40	11,190,952.60	12,551,437.29	10,178,502.34
Transfers In	614,449.41	622.00				
Expenses	19,736,105.58	19,144,951.13	22,695,908.75	18,485,700.51	20,167,894.00	19,985,481.35
Capital Improvements						0.00
Plant, Property, & Equipment						0.00
Other Expenditures	6,975,069.50	6,780,246.18	9,617,716.81	5,326,434.82	5,572,137.69	5,079,303.53
Internal Services	460,661.90	466,432.16	564,157.05	608,619.76	659,111.32	656,627.44
Other Expenses	1,025,840.27	659,019.49	4,670,603.76	335,135.68	1,353,048.53	406,362.45
Other Purchased Services	1,080,469.31	1,363,147.39	1,399,203.45	1,248,041.75	1,169,890.87	1,313,655.48
Promotional Expenses	4,224.00	800.00	23,726.60	8,601.73	9,113.26	5,945.30
Purchased Professional & Technical Services	1,904,519.60	1,633,886.74	2,234,250.42	2,316,688.81	1,801,774.40	1,622,871.96
Supplies	222,122.82	256,755.37	310,193.08	303,417.73	289,209.89	468,725.12
Transfers	2,277,231.60	2,400,205.03	415,582.45	505,929.36	289,989.42	605,115.78
Personal Services & Benefits	12,761,036.08	12,364,704.95	13,078,191.94	13,159,265.69	14,595,756.31	14,906,177.82
Personal Services	9,027,042.60	8,630,834.14	8,846,930.55	9,071,467.10	10,251,133.93	10,505,308.61
Personal Services - Employee Benefits	3,733,993.48	3,733,870.81	4,231,261.39	4,087,798.59	4,344,622.38	4,400,869.21

NOTE: 2017 includes a \$3.45MM grant to the CIC.

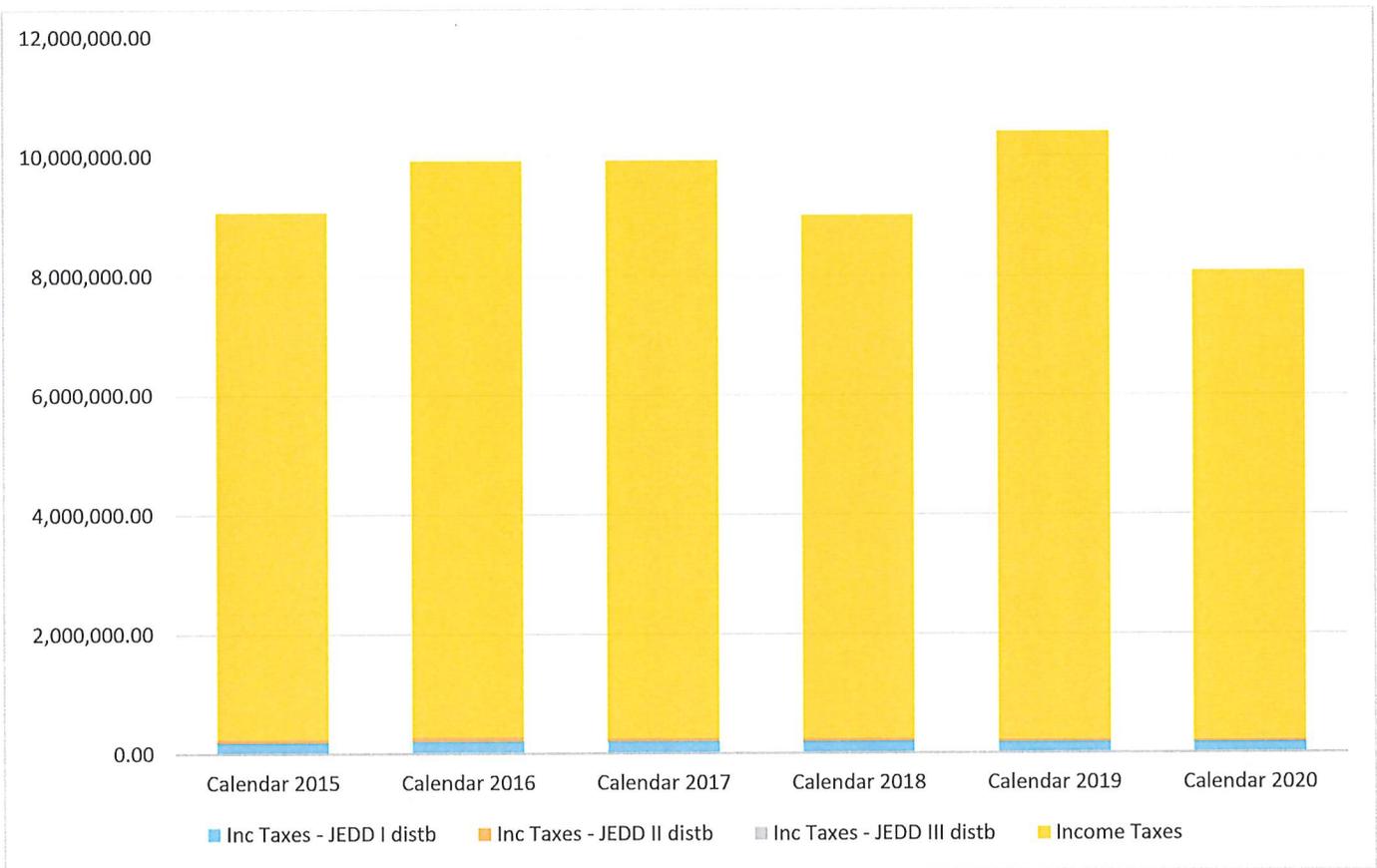
GENERAL FUND: 2020 WAGES PAID YTD THROUGH MAY



Pay Type	Calendar 2015	Calendar 2016	Calendar 2017	Calendar 2018	Calendar 2019	Calendar 2020
Overtime	169,297.79	357,531.36	148,141.56	81,189.04	168,432.30	223,336.60
Overtime - Training			47,189.33	13,758.07	16,953.73	0.00
Professional Development Training, Associated Travel & Expend	40,117.20	68,385.53	43,118.85	45,523.53	64,160.53	39,870.29
Sal - Acting City Prosect	57.32					
Salaries - Judges	20,061.92	17,276.40	19,517.30	8,800.60	5,654.22	2,739.50
Salaries-Reg Employees	8,474,155.81	7,827,025.39	8,379,156.11	8,656,489.73	9,569,280.52	9,883,082.31
Special Pay	16,666.67	78,397.61	24,051.92	25,082.81	36,573.75	36,925.69
Unused Comp-Sick Leave	306,685.89	282,217.85	185,755.48	240,623.32	390,078.88	319,354.22
Totals	\$9,027,042.60	\$8,630,834.14	\$8,846,930.55	\$9,071,467.10	\$10,251,133.93	\$10,505,308.61

NOTE: The City experienced three pays in January 2015.

GENERAL FUND: 2020 INCOME TAX COLLECTIONS YTD THROUGH MAY



Tax Type	Calendar 2015	Calendar 2016	Calendar 2017	Calendar 2018	Calendar 2019	Calendar 2020
Inc Taxes - JEDD I distb	183,116.91	200,421.17	199,690.09	196,779.76	180,996.31	174,244.92
Inc Taxes - JEDD II distb	61,774.72	80,698.36	62,056.52	47,591.86	47,234.69	42,102.33
Inc Taxes - JEDD III distb				1,828.46	1,692.12	4,741.65
Income Taxes	8,817,601.69	9,650,726.10	9,675,967.37	8,768,218.39	10,185,258.42	7,858,397.84
Totals	\$9,062,493.32	\$9,931,845.63	\$9,937,713.98	\$9,014,418.47	\$10,415,181.54	\$8,079,486.74

NOTE: Income tax collections for JEDD III began in April 2018.

**Summary of Cash Basis Activity
For the One Month Period Ending May 31, 2020**

	Balance May 01, 2020	Monthly Receipts	Monthly Disbursements	Non-Cash Items	Balance May 31 2020	Purchase Orders Outstanding	Unencumbered Cash
GENERAL							
100 General	\$9,146,063.36	\$3,897,512.35	\$4,425,497.13	(\$198,344.91)	\$8,419,733.67	\$2,302,225.76	\$6,117,507.91
SPECIAL REVENUE							
200 One Renaissance Center Fd	937,853.56	\$178,799.17	\$48,463.81	\$702.88	\$1,068,891.80	383,284.88	\$685,606.92
2013 HOME FUND 2013	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
2014 HOME FUND 2014	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
2015 Home Fund 2015	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
2016 HOME FUND 2016	13,052.67	0.00	0.00	0.00	\$13,052.67	0.00	\$13,052.67
2017 HOME FUND 2017	26,575.42	0.00	0.00	0.00	\$26,575.42	0.00	\$26,575.42
2018 Home Fund 2018	53,922.94	0.00	0.00	0.00	\$53,922.94	137.63	\$53,785.31
2019 HOME FUND 2019	(20,712.59)	17,948.03	17,948.03	17,350.00	(\$3,362.59)	113,923.00	(\$117,285.59)
205 Fed. Emg.Mgmt.Fund (FEMA)	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
206 Youthbuild Grant Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
207 Hamilton Court Sec.Proj.	58,441.96	1,472.39	0.00	0.00	\$59,914.35	0.00	\$59,914.35
208 Hamilton Court Sp Proj Fd	148,626.72	886.00	1,500.00	0.00	\$148,012.72	3,000.00	\$145,012.72
210 Pub Safety/Health Inc Tax	513,303.42	118,794.57	274,083.33	0.00	\$358,014.66	0.00	\$358,014.66
211 Rounding Up Util Acct Trs	2,484.31	1,079.98	1,576.14	12.67	\$2,000.82	0.00	\$2,000.82
212 Hamilton Mun Ct Cap Imp	207,863.58	2,967.00	4,155.07	(13.49)	\$206,662.02	3,060.80	\$203,601.22
213 MIT Aggregatn/Verifctn Fd	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
215 Hamltn Cap Imp Debt Serv	24,647,435.46	241,793.17	(317,949.58)	0.00	\$25,207,178.21	8,937,818.85	\$16,269,359.36
218 Brownfield Red Pilot Proj	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
219 Brownfields Job Trng Init	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
220 Weed & Seed Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
221 Dispute Resolutn Proc Fd	38,749.45	204.00	369.44	0.00	\$38,584.01	0.00	\$38,584.01
222 DOJ Forfeiture Prog Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
223 Brownfields Rev Loan Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
224 GREAT Grant Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
225 Justice Assistance Grant	18,572.00	0.00	0.00	0.00	\$18,572.00	10,087.00	\$8,485.00
226 Weed & Seed Grnt Exp Site	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
227 Land Reutilization Fund	28,208.08	0.00	5,381.53	0.00	\$22,826.55	0.00	\$22,826.55
230 Targeted Oriented Policing	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
231 Law Enforcement Trust	228,247.52	1,476.75	0.00	0.00	\$229,724.27	350.00	\$229,374.27
232 Safety Helmet Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
233 Safety Seat Belt Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
235 Public Safety Spec Proj	97,705.48	0.00	(126.67)	0.00	\$97,832.15	1,004.08	\$96,828.07
237 Police Hiring Supp Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
238 Probation Services Fund	8,584.58	10,247.89	27,023.12	0.00	(\$8,190.65)	0.00	(\$8,190.65)
239 Dare Program	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
240 Drug Law Enforcmt Trust	111,444.25	0.00	3,302.09	43.43	\$108,185.59	5,054.64	\$103,130.95
241 Dui Enfrcmnt & Educltn Trst	11,747.30	186.00	2,120.97	(634.17)	\$9,178.16	1,494.86	\$7,683.30
242 Indigent Drivrs Alcohol Trt	234,930.81	1,303.66	0.00	0.00	\$236,234.47	5,740.00	\$230,494.47
244 Metro Housing Auth Pol Gr	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
245 Police K-9 Unit Fund	100.00	0.00	0.00	0.00	\$100.00	0.00	\$100.00
246 Police Pension Fund	270,716.74	0.00	130,000.00	0.00	\$140,716.74	0.00	\$140,716.74
247 CDBG Police Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
248 COPS MORE Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
249 Police Levy Fund	777,379.27	0.00	390,000.00	0.00	\$387,379.27	0.00	\$387,379.27
250 Firemen's Pension Fund	256,470.21	0.00	128,000.00	0.00	\$128,470.21	0.00	\$128,470.21
251 Emergency Med Serv Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
252 Charter Fire Force Fund	851,567.45	0.00	430,000.00	0.00	\$421,567.45	0.00	\$421,567.45
253 Fire EMS Levy Fund	777,379.27	0.00	390,000.00	0.00	\$387,379.27	0.00	\$387,379.27
254 Technology Initiative Fnd	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
255 Energy Effic Block Grant	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
256 Local Energy Assur Plng	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
260 Immunizatn Actn Plan Gran	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
261 Kathryn Weiland Trust Inc	11,151.60	9.02	0.00	0.00	\$11,160.62	0.00	\$11,160.62
262 Clinical Services Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
270 Str & Pks Beaulification	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
278 Motor Vehicle License Tax Fund	18,814.70	15.22	0.00	0.00	\$18,829.92	0.00	\$18,829.92
279 Stormwater Mgmt. Fund	1,404,840.87	252,756.44	124,813.38	3,524.85	\$1,536,308.78	4,585,000.03	(\$3,048,691.25)
280 Refuse Fund	1,430,643.05	383,203.18	1,068,010.87	346,686.82	\$1,092,522.18	2,472,521.37	(\$1,379,999.19)
281 Street Maintenance Fund	1,396,545.92	260,136.41	313,227.20	14,168.90	\$1,357,624.03	437,093.50	\$920,530.53
282 Transit System	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
283 Convntn & Vistrs Bur Fund	23,074.07	16,790.17	0.00	0.00	\$39,864.24	0.00	\$39,864.24
284 Miami Conservancy Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
800 CDBG - Revolving Loan Fd	170,082.16	27.29	0.00	0.00	\$170,109.45	0.00	\$170,109.45
801 HOME - Revolving Loan Fnd	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
802 Neighborhood Stabl.Prgm	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
803 HPRP Grant Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
804 Neighborhood Stabl. Program 3	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
913 CDBG 2012 - 2013	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
914 CDBG FUND 2014	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
915 CDBG FUND 915	28,396.96	0.00	0.00	0.00	\$28,396.96	0.00	\$28,396.96
916 CDBG Fund 2015-2016	12,801.43	0.00	0.00	0.00	\$12,801.43	0.00	\$12,801.43
917 CDBG Fund 2016-2017	0.00	0.00	0.00	0.00	\$0.00	14,462.01	(\$14,462.01)
918 CDBG Fund 2017-2018	(16,195.48)	0.00	0.00	0.00	(\$16,195.48)	23,659.00	(\$39,854.48)
919 CDBG Fund 2018-2019	33,475.53	0.00	0.00	0.00	\$33,475.53	47,444.51	(\$13,968.98)
920 CDBG Fund 2019-2020	10,600.13	27,120.56	30,685.61	3,450.00	\$10,485.08	536,567.84	(\$526,082.76)
Total Special Revenue	34,824,880.80	1,517,216.90	3,072,584.34	385,291.89	33,654,805.25	\$17,581,704.00	\$16,073,101.25
CAPITAL PROJECTS							
300 Capital Projects Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
301 Special Assessments	390,281.01	0.00	136,078.74	0.00	\$254,202.27	971,261.19	(\$717,058.92)
302 High Street Property	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
303 Lowes MITIE Talawanda Fund	57,543.64	0.00	0.00	0.00	\$57,543.64	0.00	\$57,543.64
304 Walmart MITIE Hamilton Fund	81,113.40	0.00	0.00	0.00	\$81,113.40	0.00	\$81,113.40
305 Hamilton Enterprise Park	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
306 Hamilton Streetscape Imp	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
307 Issue II Project Fund	0.00	0.00	0.00	0.00	\$0.00	1,035,000.00	(\$1,035,000.00)
308 Matandy Steel MPITIE Fund	24,155.85	0.00	0.00	0.00	\$24,155.85	0.00	\$24,155.85
309 Robinson Schwenn MPITIE Fund	670.44	0.00	0.00	0.00	\$670.44	0.00	\$670.44
310 Clean Ohio Grants Program	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
311 Infrastructure Renwl Prgm	1,686,442.46	77,225.55	43,994.24	14,565.43	\$1,734,239.20	5,802,722.96	(\$4,068,483.76)
348 RIDs - MPITIE Citywide District	80,455.63	0.00	0.00	0.00	\$80,455.63	0.00	\$80,455.63
349 RIDs - MPITIE North District	16,855.25	0.00	0.00	0.00	\$16,855.25	0.00	\$16,855.25
350 RIDs - MPITIE South District	6,866.64	0.00	0.00	0.00	\$6,866.64	0.00	\$6,866.64
351 Quality Publishing MPITIE Fund	5,145.14	0.00	0.00	0.00	\$5,145.14	0.00	\$5,145.14
352 Shoppes @ Hamilton MPITIE Fund	22,725.34	0.00	0.00	0.00	\$22,725.34	0.00	\$22,725.34

**Summary of Cash Basis Activity
For the One Month Period Ending May 31, 2020**

	Balance May 01, 2020	Monthly Receipts	Monthly Disbursements	Non-Cash Items	Balance May 31 2020	Purchase Orders Outstanding	Unencumbered Cash
353 Historic Developers (Mercantile)	4,189.96	0.00	0.00	0.00	\$4,189.96	0.00	\$4,189.96
354 Tippman Properties MPITIE Fund	564.54	0.00	0.00	0.00	\$564.54	0.00	\$564.54
355 Neturen Manufacturing TIF	27,320.63	0.00	0.00	0.00	\$27,320.63	0.00	\$27,320.63
356 Champion Mill Sports Complex TIF	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
357 Mixed Use Development SODA - TIF	93,403.42	0.00	0.00	0.00	\$93,403.42	0.00	\$93,403.42
360 Governmental Bldg Sale Proceeds	2,720,348.94	0.00	1,617,629.00	0.00	\$1,102,719.94	1,081,611.70	\$21,108.24
Total Capital Projects	5,218,082.29	77,225.55	1,797,701.98	14,565.43	3,512,171.29	\$8,890,595.85	(\$5,378,424.56)
ENTERPRISE - GAS							
501 Gas Utility	3,969,925.77	1,456,279.55	1,379,067.90	305,751.39	\$4,352,888.81	223,013.45	\$4,129,875.36
510 Gas Sys Special Proj.Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
512 Gas Construction Fund	1,201,547.18	0.00	0.00	0.00	\$1,201,547.18	1,448.24	\$1,200,098.94
515 Gas Cap Imprmt Fund	991,215.84	4,800.00	55,419.38	0.00	\$940,596.46	882,088.29	\$58,508.17
516 Gas Rate Stabilization Fd	2,134,880.96	1,726.87	0.00	0.00	\$2,136,607.83	0.00	\$2,136,607.83
517 Gas System Reserve Fund	1,033,000.00	0.00	0.00	0.00	\$1,033,000.00	0.00	\$1,033,000.00
518 Gas Bond Service Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
Sub-Total - Gas	9,330,569.75	1,462,806.42	1,434,487.28	305,751.39	9,664,640.28	\$1,106,549.98	\$8,558,090.30
ENTERPRISE - ELECTRIC							
502 Electric Utility	14,925,224.19	5,365,572.25	6,141,497.11	252,994.68	\$14,402,294.01	2,706,321.05	\$11,695,972.96
520 Elec Sys Spec Proj Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
522 Electric Construction Fd	15,178,796.07	0.00	0.00	0.00	\$15,178,796.07	7,279,881.82	\$7,898,914.25
523 Boiler No. 9 Scrubber Prj	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
524 Hydroelectric Oprtns Fund	410,987.38	180,907.65	227,611.98	1,605.67	\$365,888.72	120,343.22	\$245,545.50
525 Electric Cap Imprvmt Fund	5,852,984.62	450.00	388,704.37	18,755.29	\$5,464,685.54	5,090,251.43	\$393,234.11
526 Elec Rate Stablztn Fund	4,238,158.58	3,428.17	0.00	0.00	\$4,241,586.75	0.00	\$4,241,586.75
527 Elec System Reserve Fund	14,435,533.25	11,676.64	0.00	0.00	\$14,447,209.89	0.00	\$14,447,209.89
528 92 Electric Bd Service Fd	0.00	168,311.78	0.00	(168,311.78)	\$0.00	0.00	\$0.00
529 Electric Debt Rductn Resv	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
Sub-Total - Electric	55,041,684.09	5,730,346.49	6,757,813.46	105,043.66	54,119,260.98	\$15,196,797.52	\$38,922,463.46
ENTERPRISE - WATER							
503 Water Utility	4,822,181.56	1,124,721.80	1,102,022.10	19,425.33	\$4,864,306.59	876,471.93	\$3,987,834.66
530 Water Sys Spec. Proj Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
531 Water Construction Fund	2,144,235.43	0.00	430.00	430.00	\$2,144,235.43	1,915,234.87	\$229,000.56
535 Water Cap Imprmt Fund	1,243,868.14	4,970.00	2,285.17	0.00	\$1,246,552.97	182,897.37	\$1,063,655.60
536 Water Rate Stablztn Fund	1,671,457.87	1,352.01	0.00	0.00	\$1,672,809.88	0.00	\$1,672,809.88
537 Water System Reserve Fund	2,470,283.94	0.00	0.00	0.00	\$2,470,283.94	0.00	\$2,470,283.94
Sub-Total - Water	12,352,026.94	1,131,043.81	1,104,737.27	19,855.33	12,398,188.81	\$2,974,604.17	\$9,423,584.64
ENTERPRISE - WASTEWATER							
504 Wastewater Utility	6,260,423.06	1,059,299.82	1,011,749.54	108,924.21	\$6,416,897.55	455,111.24	\$5,961,786.31
540 Wastewater Sp Proj fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
541 Wastewater Constructn Fd	546,714.00	0.00	0.00	0.00	\$546,714.00	0.00	\$546,714.00
542 Wwater Debt Procds-Const.	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
543 Riverside Nature Area Con	26,215.41	21.21	0.00	0.00	\$26,236.62	0.00	\$26,236.62
545 Wastewater Cap Imprvmt Fd	5,917,455.14	4,910.00	192,714.34	21,000.00	\$5,750,650.80	1,748,760.17	\$4,001,890.63
546 Wastwtr Rate Stablztn Fd	2,148,179.21	1,737.62	0.00	0.00	\$2,149,916.83	0.00	\$2,149,916.83
547 Wastewater Sys Reserve Fd	3,230,000.00	0.00	0.00	0.00	\$3,230,000.00	0.00	\$3,230,000.00
548 Wastewater Bond Service	0.00	297,349.10	0.00	(297,349.10)	\$0.00	0.00	\$0.00
Sub-Total - Wastewater	18,128,986.82	1,363,317.75	1,204,463.88	(167,424.89)	18,120,415.80	\$2,203,871.41	\$15,916,544.39
ENTERPRISE - OTHER							
550 Parking Fund	64,955.92	25,840.74	34,569.83	9,453.59	\$65,680.42	59,997.07	\$5,683.35
551 Pkg Capital Imprvmt Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
560 Golf Fund	100,785.89	21,804.60	42,685.34	11.40	\$79,916.55	30,185.30	\$49,731.25
561 Golf Rate Stblztn Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
570 Central Park Sports Arena	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
Sub-Total - Other	165,741.81	47,645.34	77,255.17	9,464.99	145,596.97	\$90,182.37	\$55,414.60
Total - Enterprise	\$95,019,009.41	\$9,735,159.81	\$10,578,757.06	\$272,690.68	\$94,448,102.84	\$21,572,005.45	\$72,876,097.39
INTERNAL SERVICES							
610 Fleet Maintenance Fund	(98,645.94)	157,793.09	234,753.29	36,617.49	(\$138,988.65)	343,093.58	(\$482,082.23)
620 Central Services	21,382.32	810,480.78	743,011.78	(47,876.47)	\$40,974.85	775,049.39	(\$734,074.54)
640 Central Benefits Fund	1,798,587.59	752,872.77	4,850.00	0.00	\$2,546,610.36	44,951.75	\$2,501,658.61
650 Economic Budget Stabilization	1,700,000.00	0.00	0.00	0.00	\$1,700,000.00	0.00	\$1,700,000.00
Total - Internal Services	3,421,323.97	1,721,146.64	982,615.07	(11,258.98)	4,148,596.56	\$1,163,094.72	\$2,985,501.84
TRUST AND AGENCY							
700 Travel Advance Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
710 Employee Txs & Bnfts Fund	1,758,827.57	0.00	0.00	1,247,011.30	\$3,005,838.87	0.00	\$3,005,838.87
711 Building Stds Fee Assmt Fu	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
712 Misc Collectn For Others	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
715 Unclaimed Monies Fund	30,676.76	0.00	0.00	0.00	\$30,676.76	0.00	\$30,676.76
720 West Milton Tax Collectn	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
721 New Miami Tax Collectn Fu	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
722 Oxford Tax Collectn Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
723 Eaton Tax Collection Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
724 Monroe Tax Collection Fun	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
726 Butler Cty Annex Tax Fund	175,076.96	0.00	0.00	0.00	\$175,076.96	0.00	\$175,076.96
727 Ham.Cen.Bus.Sp.Imprv Dst.	22,687.86	0.00	0.00	0.00	\$22,687.86	0.00	\$22,687.86
728 Joint Ecnmic Dvlp Dstrc I	8,179.59	0.00	0.00	(35,209.91)	(\$27,030.32)	0.00	(\$27,030.32)
729 Phillipsburg Tax Collectn	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
730 Benninghoffen Trust Fund	75,482.54	60.75	383.89	0.00	\$75,159.60	0.00	\$75,159.60
731 Joint Ecnmic Dvlp Dist II	14,866.42	0.00	0.00	(20,357.85)	(\$5,491.43)	0.00	(\$5,491.43)
732 Village of New Paris Tax Collect	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
733 Joint Ecnmic Dvlp Dist III	504.88	0.00	0.00	(493.00)	\$11.88	0.00	\$11.88
740 Fire Damage Dep Escrow Fu	172,628.93	0.00	0.00	0.00	\$172,628.93	0.00	\$172,628.93
745 Police Prop.Rm Forfeiture	256,258.99	0.00	0.00	0.00	\$256,258.99	0.00	\$256,258.99
752 Municipal Court Cash	199,716.69	0.00	0.00	0.00	\$199,716.69	0.00	\$199,716.69
760 Treasury Investment Fund	0.00	0.00	0.00	0.00	\$0.00	0.00	\$0.00
775 Sinking Fund	3,870.30	250,985.45	250,985.45	0.00	\$3,870.30	11,312.50	(\$7,442.20)
Total - Trust and Agency	2,718,777.49	251,046.20	251,369.14	1,190,950.54	3,909,405.09	\$11,312.50	\$3,898,092.59
TOTAL	\$150,348,137.32	\$17,199,307.45	\$21,108,524.72	\$1,653,894.65	\$148,092,814.70	\$51,520,938.28	\$96,571,876.42

*Zero Balance Due to Funds Restricted for Future Bond Payments

**Summary of Cash Basis Activity
For the Five Months Period Ending May 31, 2020**

	Balance Jan. 1, 2020	Monthly Receipts	Monthly Disbursements	Non-Cash Items	Balance May 31, 2020	Purchase Orders Outstanding	Unencumbered Cash
GENERAL							
100 General	\$8,636,701.11	\$19,647,334.28	\$19,985,481.35	\$121,179.63	\$8,419,733.67	\$2,302,225.76	\$6,117,507.91
SPECIAL REVENUE							
200 One Renaissance Center Fd	822,814.28	915,400.85	670,026.21	702.88	1,068,891.80	383,284.88	\$685,606.92
2013 HOME FUND 2013	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
2014 HOME FUND 2014	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
2015 Home Fund 2015	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
2016 HOME FUND 2016	23,052.67	0.00	10,000.00	0.00	13,052.67	0.00	\$13,052.67
2017 HOME FUND 2017	26,575.42	0.00	0.00	0.00	26,575.42	0.00	\$26,575.42
2018 Home Fund 2018	54,278.55	63,475.00	63,830.61	0.00	53,922.94	137.63	\$53,785.31
2019 HOME FUND 2019	563.52	26,044.54	47,320.65	17,350.00	(3,362.59)	113,923.00	
205 Fed. Emg.Mgmt.Fund (FEMA)	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
206 Youthbuild Grant Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
207 Hamilton Court Sec.Proj.	43,163.80	16,750.55	0.00	0.00	59,914.35	0.00	\$59,914.35
208 Hamilton Court Sp Proj Fd	148,349.93	8,787.79	9,125.00	0.00	148,012.72	3,000.00	\$145,012.72
210 Pub Safety/Health Inc Tax	479,154.19	1,267,483.53	1,388,623.06	0.00	358,014.66	0.00	\$358,014.66
211 Rounding Up Util Acct Trs	1,705.98	3,567.08	3,282.12	9.88	2,000.82	0.00	\$2,000.82
212 Hamilton Mun Ct Cap Imp	220,967.28	33,424.03	47,729.29	0.00	206,662.02	3,060.80	\$203,601.22
213 MIT Aggregatn/Verifctn Fd	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
215 Hamln Cap Imp Debt Serv	1,387,635.76	29,978,617.87	6,159,075.42	0.00	25,207,178.21	8,937,818.85	\$16,269,359.36
218 Brownfield Red Pilot Proj	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
219 Brownfields Job Trng Init	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
220 Weed & Seed Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
221 Dispute Resolutn Proc Fd	36,852.81	3,291.00	1,559.80	0.00	38,584.01	0.00	\$38,584.01
222 DOJ Forfeiture Prog Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
223 Brownfields Rev Loan Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
224 GREAT Grant Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
225 Justice Assistance Grant	0.00	18,572.00	0.00	0.00	18,572.00	10,087.00	\$8,485.00
226 Weed & Seed Grnt Exp Site	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
227 Land Reutilization Fund	20,443.06	30,000.00	27,616.51	0.00	22,826.55	0.00	\$22,826.55
230 Targeted Oriented Policing	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
231 Law Enforcement Trust	222,944.42	13,754.75	6,974.90	0.00	229,724.27	350.00	\$229,374.27
232 Safety Helmet Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
233 Safety Seat Belt Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
235 Public Safety Spec Proj	98,005.24	25,000.00	25,173.09	0.00	97,832.15	1,004.08	\$96,828.07
237 Police Hiring Supp Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
238 Probation Services Fund	28,009.81	73,187.03	109,387.49	0.00	(8,190.65)	0.00	(\$8,190.65)
239 Dare Program	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
240 Drug Law Enforcmt Trust	114,885.46	7,488.75	14,232.05	43.43	108,185.59	5,054.64	\$103,130.95
241 Dui Enfrctm & Educnl Trst	10,670.30	1,263.00	3,192.85	437.71	9,178.16	1,494.86	\$7,683.30
242 Indignt Drvrs Alchol Trt	234,251.56	7,722.91	5,740.00	0.00	236,234.47	5,740.00	\$230,494.47
244 Metro Housing Auth Pol Gr	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
245 Police K-9 Unit Fund	100.00	0.00	0.00	0.00	100.00	0.00	\$100.00
246 Police Pension Fund	137,959.74	132,757.00	130,000.00	0.00	140,716.74	0.00	\$140,716.74
247 CDBG Police Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
248 COPS MORE Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
249 Police Levy Fund	387,618.24	389,761.03	390,000.00	0.00	387,379.27	0.00	\$387,379.27
250 Firemen's Pension Fund	128,168.56	128,301.65	128,000.00	0.00	128,470.21	0.00	\$128,470.21
251 Emergency Med Serv Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
252 Charter Fire Force Fund	423,895.22	427,672.23	430,000.00	0.00	421,567.45	0.00	\$421,567.45
253 Fire EMS Levy Fund	387,618.24	389,761.03	390,000.00	0.00	387,379.27	0.00	\$387,379.27
254 Technology Initiative Fnd	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
255 Energy Effic Block Grant	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
256 Local Energy Assur Plng	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
260 Immunizatn Actn Plan Gran	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
261 Kathryn Weiland Trust Inc	9,619.41	1,541.21	0.00	0.00	11,160.62	0.00	\$11,160.62
262 Clinical Services Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
270 Str & Pks Beautification	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
278 Motor Vehicle License Tax Fund	0.00	18,829.92	0.00	0.00	18,829.92	0.00	\$18,829.92
279 Stormwater Mgmt. Fund	1,393,646.86	1,234,991.86	1,070,240.27	(22,089.67)	1,536,308.78	4,585,000.03	(\$3,048,691.25)
280 Refuse Fund	1,500,271.19	1,926,206.27	2,683,314.24	349,358.96	1,092,522.18	2,472,521.37	(\$1,379,999.19)
281 Street Maintenance Fund	919,883.38	1,644,663.30	1,221,091.55	14,168.90	1,357,624.03	437,093.50	\$920,530.53
282 Transit System	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
283 Convntn & Vistrs Bur Fund	26,263.84	42,739.44	29,139.04	0.00	39,864.24	0.00	\$39,864.24
284 Miami Conservancy Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
800 CDBG - Revolving Loan Fd	142,187.57	27,921.88	0.00	0.00	170,109.45	0.00	\$170,109.45
801 HOME - Revolving Loan Fnd	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
802 Neighborhood Stabl.Prgm	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
803 HPRP Grant Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
804 Neighborhood Stabl. Program 3	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
913 CDBG 2012 - 2013	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
914 CDBG FUND 2014	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
915 CDBG FUND 915	28,396.96	0.00	0.00	0.00	28,396.96	0.00	\$28,396.96
916 CDBG Fund 2015-2016	12,801.43	0.00	0.00	0.00	12,801.43	0.00	\$12,801.43
917 CDBG Fund 2016-2017	0.00	0.00	0.00	0.00	0.00	14,462.01	(\$14,462.01)
918 CDBG Fund 2017-2018	(4,933.60)	38,519.80	49,781.68	0.00	(16,195.48)	23,659.00	(\$39,854.48)
919 CDBG Fund 2018-2019	26,640.88	53,965.09	47,130.44	0.00	33,475.53	47,444.51	(\$13,968.98)
920 CDBG Fund 2019-2020	12,963.97	254,842.38	260,771.27	3,450.00	10,485.08	536,567.84	(\$526,082.76)
Total Special Revenue	\$9,507,425.93	\$39,206,304.77	\$15,422,357.54	\$363,432.09	\$33,654,805.25	\$17,581,704.00	\$16,073,101.25
CAPITAL PROJECTS							
300 Capital Projects Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
301 Special Assessments	310,366.56	162,818.84	218,983.13	0.00	254,202.27	971,261.19	(\$717,058.92)
302 High Street Property	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
303 Loves MITIE Talawanda Fund	38,350.59	50,427.74	31,234.69	0.00	57,543.64	0.00	\$57,543.64
304 Walmart MITIE Hamilton Fund	53,873.74	89,848.88	62,607.22	0.00	81,113.40	0.00	\$81,113.40
305 Hamilton Enterprise Park	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
306 Hamilton Streetscape Imp	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
307 Issue II Project Fund	0.00	65,000.00	65,000.00	0.00	0.00	1,035,000.00	(\$1,035,000.00)
308 Matandy Steel MPITIE Fund	0.00	24,428.44	272.59	0.00	24,155.85	0.00	\$24,155.85
309 Robinson Schwenn MPITIE Fund	1,203.50	2,211.38	2,744.44	0.00	670.44	0.00	\$670.44
310 Clean Ohio Grants Program	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
311 Infrastructure Renwl Prgm	1,830,156.78	465,105.77	575,588.78	14,565.43	1,734,239.20	5,802,722.96	(\$4,068,483.76)
348 RIDs - MPITIE Citywide District	0.00	246,063.66	165,608.03	0.00	80,455.63	0.00	\$80,455.63
349 RIDs - MPITIE North District	0.00	44,362.70	27,507.45	0.00	16,855.25	0.00	\$16,855.25
350 RIDs - MPITIE South District	0.00	22,648.84	15,782.20	0.00	6,866.64	0.00	\$6,866.64
351 Quality Publishing MPITIE Fund	0.00	5,203.20	58.06	0.00	5,145.14	0.00	\$5,145.14
352 Shoppes @ Hamilton MPITIE Fund	0.00	74,956.91	52,231.57	0.00	22,725.34	0.00	\$22,725.34

**Summary of Cash Basis Activity
For the Five Months Period Ending May 31, 2020**

	Balance Jan. 1, 2020	Monthly Receipts	Monthly Disbursements	Non-Cash Items	Balance May 31, 2020	Purchase Orders Outstanding	Unencumbered Cash
353 Historic Developers (Mercantile)	0.00	13,820.09	9,630.13	0.00	4,189.96	0.00	\$4,189.96
354 Tippman Properties MPITIE Fund	0.00	1,862.08	1,297.54	0.00	564.54	0.00	\$564.54
355 Neluren Manufacturing TIF	0.00	90,113.96	62,793.33	0.00	27,320.63	0.00	\$27,320.63
356 Champion Mill Sports Complex TIF	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
357 Mixed Use Development SODA - TIF	132,131.55	0.00	38,728.13	0.00	93,403.42	0.00	\$93,403.42
360 Governmental Bldg Sale Proceeds	4,648,399.71	9,998,209.17	13,543,888.94	0.00	1,102,719.94	1,081,611.70	\$21,108.24
Total Capital Projects	\$7,014,482.43	\$11,357,079.66	\$14,873,956.23	\$14,565.43	\$3,512,171.29	\$8,890,595.85	(\$5,378,424.56)
ENTERPRISE - GAS							
501 Gas Utility	2,211,860.41	10,835,427.70	9,184,679.15	490,279.85	4,352,888.81	223,013.45	\$4,129,875.36
510 Gas Sys Special Proj.Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
512 Gas Construction Fund	1,201,547.18	0.00	0.00	0.00	1,201,547.18	1,448.24	\$1,200,098.94
515 Gas Cap Imprmt Fund	1,170,721.56	22,000.00	252,125.10	0.00	940,596.46	882,088.29	\$58,508.17
516 Gas Rate Stabilization Fd	2,121,250.53	15,357.30	0.00	0.00	2,136,607.83	0.00	\$2,136,607.83
517 Gas System Reserve Fund	1,033,000.00	0.00	0.00	0.00	1,033,000.00	0.00	\$1,033,000.00
518 Gas Bond Service Fund	0.00	84,207.25	84,207.25	0.00	0.00	0.00	\$0.00
Sub-Total - Gas	\$7,738,379.68	\$10,956,992.25	\$9,521,011.50	\$490,279.85	\$9,664,640.28	\$1,106,549.98	\$8,558,090.30
ENTERPRISE - ELECTRIC							
502 Electric Utility	13,506,098.21	31,182,783.19	30,865,730.99	579,143.60	14,402,294.01	2,706,321.05	\$11,695,972.96
520 Elec Sys Spec Proj Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
522 Electric Construction Fd	15,242,262.82	0.00	63,466.75	0.00	15,178,796.07	7,279,881.82	\$7,898,914.25
523 Boiler No. 9 Scrubber Prj	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
524 Hydroelectric Oprtns Fund	405,065.88	833,094.18	877,611.29	5,339.95	365,888.72	120,343.22	\$245,545.50
525 Electric Cap Imprvmt Fund	7,151,911.18	387,443.11	2,117,689.32	61,820.57	5,483,485.54	5,090,251.43	\$393,234.11
526 Elec Rate Stablztn Fund	4,211,099.49	30,487.26	0.00	0.00	4,241,586.75	0.00	\$4,241,586.75
527 Elec System Reserve Fund	14,343,367.66	103,842.23	0.00	0.00	14,447,209.89	0.00	\$14,447,209.89
528 92 Electric Bd Service Fd	0.00	750,903.28	0.00	(750,903.28)	0.00	0.00	\$0.00
529 Electric Debt Rductn Resv	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
Sub-Total - Electric	\$54,859,805.24	\$33,288,553.25	\$33,924,498.35	(\$104,599.16)	\$54,119,260.98	\$15,196,797.52	\$38,922,463.46
ENTERPRISE - WATER							
503 Water Utility	4,621,240.70	5,886,638.09	5,696,469.93	52,897.73	4,864,306.59	876,471.93	\$3,987,834.66
530 Water Sys Spec. Proj Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
531 Water Construction Fund	2,549,152.93	543,056.40	948,403.90	430.00	2,144,235.43	1,915,234.87	\$229,000.56
535 Water Cap Imprmt Fund	1,569,299.82	5,510.00	328,256.85	0.00	1,246,552.97	182,897.37	\$1,063,655.60
536 Water Rate Stablztn Fund	1,660,786.23	12,023.65	0.00	0.00	1,672,809.88	0.00	\$1,672,809.88
537 Water System Reserve Fund	2,470,283.94	0.00	0.00	0.00	2,470,283.94	0.00	\$2,470,283.94
Sub-Total - Water	\$12,870,763.62	\$6,447,228.14	\$6,973,130.68	\$53,327.73	\$12,398,188.81	\$2,974,604.17	\$9,423,584.64
ENTERPRISE - WASTEWATER							
504 Wastewater Utility	5,815,527.05	5,380,760.62	4,911,659.53	132,269.41	6,416,897.55	455,111.24	\$5,961,786.31
540 Wastewater Sp Proj fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
541 Wastewater Constructn Fd	550,330.94	0.00	3,616.94	0.00	546,714.00	0.00	\$546,714.00
542 Wwater Debt Procds-Const.	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
543 Riverside Nature Area Con	26,048.05	188.57	0.00	0.00	26,236.62	0.00	\$26,236.62
545 Wastewater Cap Imprvmt Fd	6,603,968.70	54,002.00	928,319.90	21,000.00	5,750,650.80	1,748,760.17	\$4,001,890.63
546 Wastewtr Rate Stablztn Fd	2,134,463.88	15,452.95	0.00	0.00	2,149,916.83	0.00	\$2,149,916.83
547 Wastewater Sys Reserve Fd	3,230,000.00	0.00	0.00	0.00	3,230,000.00	0.00	\$3,230,000.00
548 Wastewater Bond Service	0.00	1,488,967.79	0.00	(1,488,967.79)	0.00	0.00	\$0.00
Sub-Total - Wastewater	\$18,360,338.62	\$6,939,371.93	\$5,843,596.37	(\$1,335,698.38)	\$18,120,415.80	\$2,203,871.41	\$15,916,544.39
ENTERPRISE - OTHER							
550 Parking Fund	86,461.59	154,790.93	174,485.29	(1,086.81)	65,680.42	59,997.07	\$5,683.35
551 Pkg Capital Imprvmt Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
560 Golf Fund	258,620.72	156,335.27	335,050.84	11.40	79,916.55	30,185.30	\$49,731.25
561 Golf Rate Stablztn Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
570 Central Park Sports Arena	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
Sub-Total - Other	\$345,082.31	\$311,126.20	\$509,536.13	(\$1,075.41)	\$145,596.97	\$90,182.37	\$55,414.60
Total - Enterprise	\$94,174,369.47	\$57,943,271.77	\$56,771,773.03	(\$897,765.37)	\$94,448,102.84	21,572,005.45	\$72,876,097.39
INTERNAL SERVICES							
610 Fleet Maintenance Fund	174,323.46	855,806.68	1,205,736.28	36,617.49	(138,988.65)	343,093.58	(\$482,082.23)
620 Central Services	11,008.89	4,115,905.57	4,108,822.25	22,882.64	40,974.85	775,049.39	(\$734,074.54)
640 Central Benefits Fund	1,526,417.18	1,032,993.84	12,800.66	0.00	2,546,610.36	44,951.75	\$2,501,658.61
650 Economic Budget Stabilization	1,704,585.00	295,415.00	300,000.00	0.00	1,700,000.00	0.00	\$1,700,000.00
Total - Internal Services	\$3,416,334.53	\$6,300,121.09	\$5,627,359.19	\$59,500.13	\$4,148,596.56	\$1,163,094.72	\$2,985,501.84
TRUST AND AGENCY							
700 Travel Advance Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
710 Employee Txs & Bnfts Fund	2,400,353.00	0.00	0.00	605,485.87	3,005,838.87	0.00	\$3,005,838.87
711 Building Stds Fee Assmt Fu	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
712 Misc Collectn For Others	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
715 Unclaimed Monies Fund	32,251.76	0.00	1,575.00	0.00	30,676.76	0.00	\$30,676.76
720 West Milton Tax Collectn	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
721 New Miami Tax Collectn Fu	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
722 Oxford Tax Collectn Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
723 Eaton Tax Collection Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
724 Monroe Tax Collection Fun	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
726 Butler Cty Annex Tax Fund	141,699.31	0.00	0.00	33,377.65	175,076.96	0.00	\$175,076.96
727 Ham.Cen.Bus.Sp.Imprv Dst.	0.00	0.00	0.00	22,687.86	22,687.86	0.00	\$22,687.86
728 Joint Econmic Dvlp Dstrc I	9,953.86	0.00	0.00	(36,984.18)	(27,030.32)	0.00	(\$27,030.32)
729 Phillipsburg Tax Collectn	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
730 Benninghoffen Trust Fund	75,421.97	543.29	805.66	0.00	75,159.60	0.00	\$75,159.60
731 Joint Econmic Dvlp Dist II	71,820.74	0.00	0.00	(77,312.17)	(5,491.43)	0.00	(\$5,491.43)
732 Village of New Paris Tax Collect	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
733 Joint Econmic Dvlp Dist III	1,024.20	0.00	0.00	(1,012.32)	11.88	0.00	\$11.88
740 Fire Damage Dep Escrow Fu	146,504.40	0.00	0.00	26,124.53	172,628.93	0.00	\$172,628.93
745 Police Prop.Rm Forfeiture	246,575.13	0.00	0.00	9,683.86	256,259.99	0.00	\$256,259.99
752 Municipal Court Cash	199,716.69	0.00	0.00	0.00	199,716.69	0.00	\$199,716.69
760 Treasury Investment Fund	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
775 Sinking Fund	\$3,870.30	\$4,713,029.37	\$4,713,029.37	\$0.00	\$3,870.30	11,312.50	(\$7,442.20)
Total - Trust and Agency	\$3,329,191.36	\$4,713,572.66	\$4,715,410.03	\$582,051.10	\$3,909,405.09	\$11,312.50	\$3,898,092.59
TOTAL	\$126,078,504.83	\$139,167,684.23	\$117,396,337.37	\$242,963.01	\$148,092,814.70	\$51,520,938.28	\$96,571,876.42

City Council Meeting Informational Report

TO: The Honorable Mayor and Members of the City Council
FROM: Dave Jones, Finance Director
RE: MAY, 2020 MONTHLY INVESTMENT REPORT TO COUNCIL

Dear Mayor and Members of Council:

This report is provided for your information and requires no City Council action.

Choose Strategic Goal(s)

- I** Generate 125mm in new private investment
- J** Increase gross wages paid by Hamilton Employers by \$100mm
- P** Exceed total county growth rate median home sale prices
- R** Generate \$40mm in investment for recreational amenities
- E** Engage 50,000 participants annually in special events, arts and recreation activities
- O** General Operations/ Government Business





UNITED AMERICAN CAPITAL

Investment Review

Prepared for

City of Hamilton

as of May 31, 2020

 **UACC**

A Meeder
Investment
Management
Company

City of Hamilton
Portfolio Management
Investment Status Report - Investments
May 31, 2020

CUSIP	Investment #	Issuer	Par Value	Stated Rate	Maturity Date	Purchase Date	Days to Maturity	YTM	Market Value	Accrued Interest At Purchase	Current Principal	Book Value
Federal Agency - Coupon (NC)												
3133EGJD8	16-0078	FFCB	500,000.00	1.140	06/29/2020	06/29/2016	28	1.200	500,435.98		498,838.00	498,838.00
3134G9QB6	16-0060	FHLMC	500,000.00	1.500	11/25/2020	05/25/2016	177	1.500	502,946.18		500,000.00	500,000.00
3133ECJF2	17-0026	FFCB	800,000.00	1.770	03/18/2021	12/28/2017	290	2.098	808,972.10	Received	791,864.00	791,864.00
3133ECKF0	17-0022	FFCB	1,024,000.00	1.750	04/01/2021	11/07/2017	304	1.864	1,035,784.43	Received	1,020,160.00	1,020,160.00
3133EHNX7	17-0013	FFCB	525,000.00	1.650	06/21/2021	06/21/2017	385	1.720	532,435.29		523,582.50	523,582.50
3130A8QS5	16-0088	FHLB	1,000,000.00	1.125	07/14/2021	07/15/2016	408	1.269	1,010,571.00	Received	993,050.00	993,050.00
3133EHWM1	18-0005	FFCB	100,000.00	1.700	09/01/2021	06/21/2018	457	2.789	101,867.44	Received	96,692.00	96,692.00
3133ELTZ7	20-0034	FFCB	250,000.00	0.625	03/18/2022	03/18/2020	655	0.730	251,765.27		249,480.00	249,480.00
3133EHSS3	17-0018	FFCB	600,000.00	1.875	09/26/2022	09/27/2017	847	1.928	622,483.61	Received	598,494.00	598,494.00
3133EKD60	19-0053	FFCB	500,000.00	1.560	02/21/2023	08/21/2019	995	1.586	517,529.98		499,560.00	499,560.00
3133ELUF9	20-0038	FFCB	500,000.00	0.790	03/15/2023	03/23/2020	1,017	0.900	507,248.54		498,385.00	498,385.00
31422BXH8	20-0041	FAMCA	1,000,000.00	0.850	03/20/2023	03/27/2020	1,022	0.850	1,014,952.63		1,000,000.00	1,000,000.00
3133EKVB9	19-0039	FFCB	500,000.00	1.860	10/17/2023	07/17/2019	1,233	1.961	525,592.28		497,956.02	497,956.02
3130AB3H7	19-0017	FHLB	500,000.00	2.375	03/08/2024	04/15/2019	1,376	2.467	535,533.16	Received	498,655.00	498,655.00
3130AGWK7	19-0056	FHLB	500,000.00	1.500	08/15/2024	08/20/2019	1,536	1.519	523,432.17	Received	499,545.00	499,545.00
3133EK3B0	19-0078	FFCB	500,000.00	1.500	10/16/2024	10/16/2019	1,598	1.515	521,824.30		499,640.00	499,640.00
Federal Agency - Coupon (NC) Totals			9,299,000.00				740	1.564	9,513,374.36	0.00	9,265,901.52	9,265,901.52
Negotiatble CDs												
05581W2M6	19-0069	BMO	247,000.00	1.950	09/30/2021	09/30/2019	486	1.953	252,810.18		247,000.00	247,000.00
87164DRW2	20-0051	SNV	248,000.00	1.100	01/18/2022	04/17/2020	596	1.129	251,610.14		247,876.00	247,876.00
15201QCD7	20-0031	CTRSTE	248,000.00	1.000	03/21/2022	03/20/2020	658	1.000	251,471.75		248,000.00	248,000.00
12556LBU9	20-0032	CIT	248,000.00	1.050	03/28/2022	03/26/2020	665	1.050	251,741.08		248,000.00	248,000.00
17312Q3T4	19-0011	C	246,000.00	2.650	04/04/2022	04/04/2019	672	2.653	257,022.52	Received	246,000.00	246,000.00
084601XB4	20-0048	BHLB	248,000.00	1.250	04/21/2022	04/08/2020	689	1.305	252,792.60		247,727.20	247,727.20
57116AUD8	20-0057	MRLN	249,000.00	1.150	04/25/2022	04/24/2020	693	1.155	253,351.03		248,751.00	248,751.00
89214PCQ0	20-0060	TOWN	248,000.00	1.150	04/29/2022	04/29/2020	697	1.150	252,365.79		248,000.00	248,000.00
72345SKS9	20-0063	PNFP	248,000.00	0.900	05/09/2022	05/07/2020	707	0.951	251,217.80		247,752.00	247,752.00
33847E2J5	19-0032	FBC	246,000.00	2.500	06/13/2022	06/12/2019	742	2.510	257,292.14		245,938.50	245,938.50
02007GKL6	19-0033	ALLY	246,000.00	2.250	06/27/2022	06/28/2019	756	2.252	256,198.67	Received	246,000.00	246,000.00
20786ADA0	20-0055	NORJER	249,000.00	1.200	10/21/2022	04/22/2020	872	1.262	254,338.06		248,626.50	248,626.50
05580ATH7	19-0099	BMW	247,000.00	1.800	11/29/2022	12/19/2019	911	1.852	256,137.52	Received	246,644.32	246,644.32
949495AA3	19-0096	WFC	249,000.00	1.800	12/13/2022	12/13/2019	925	1.862	258,289.44		248,564.25	248,564.25
33646CMD3	20-0053	SRCE	248,000.00	1.150	02/17/2023	04/17/2020	991	1.222	253,357.05		247,504.00	247,504.00
81768PAF3	20-0012	SFBS	249,000.00	1.600	02/21/2023	02/21/2020	995	1.670	257,409.23		248,502.00	248,502.00
31944ABM2	20-0033	FCBKSC	248,000.00	1.100	03/20/2023	03/20/2020	1,022	1.100	248,140.12		248,000.00	248,000.00
02589AB50	20-0040	AXP	248,000.00	1.450	03/31/2023	03/31/2020	1,033	1.570	255,543.91		247,132.00	247,132.00

City of Hamilton
Portfolio Management
Investment Status Report - Investments
May 31, 2020

CUSIP	Investment #	Issuer	Par Value	Stated Rate	Maturity Date	Purchase Date	Days to Maturity	YTM	Market Value	Accrued Interest At Purchase	Current Principal	Book Value
Negotiatble CDs												
87165FZA5	20-0045	SYF	248,000.00	1.450	04/03/2023	04/03/2020	1,036	1.570	255,556.56		247,132.00	247,132.00
61760AYA1	19-0012	MS	246,000.00	2.750	04/04/2023	04/05/2019	1,037	2.752	262,574.00	Received	246,000.00	246,000.00
949763YY6	19-0014	WELLS	249,000.00	2.750	04/10/2023	04/10/2019	1,043	2.778	265,835.39		248,751.00	248,751.00
12738RGA6	20-0049	CADE	248,000.00	1.300	04/17/2023	04/15/2020	1,050	1.385	254,545.22		247,380.00	247,380.00
20033AW36	19-0022	COME	249,000.00	2.650	05/15/2023	05/15/2019	1,078	2.678	265,551.53		248,751.00	248,751.00
88413QCLO	20-0065	THFDSL	249,000.00	0.800	05/15/2023	05/14/2020	1,078	0.868	251,985.76		248,502.00	248,502.00
06652CGX3	19-0035	BNKWST	249,000.00	2.050	06/27/2023	06/28/2019	1,121	2.180	261,497.31	Received	247,772.43	247,772.43
58404DET4	19-0045	MEDBNK	249,000.00	2.100	07/24/2023	07/22/2019	1,148	2.181	262,113.83		248,253.00	248,253.00
59013KBQ8	19-0047	MERICK	249,000.00	2.150	07/24/2023	07/23/2019	1,148	2.232	262,504.02		248,253.00	248,253.00
75472RAD3	19-0052	RJF	247,000.00	1.950	08/23/2023	08/23/2019	1,178	2.004	259,061.01		246,506.00	246,506.00
15118RRF6	19-0055	CII	249,000.00	1.800	08/30/2023	08/30/2019	1,185	1.861	260,004.80		248,422.32	248,422.32
51210SSA6	20-0042	LAKESD	249,000.00	1.350	09/29/2023	03/30/2020	1,215	1.425	256,476.47		248,377.50	248,377.50
29278TML1	19-0085	CMS	247,000.00	2.000	10/31/2023	10/31/2019	1,247	2.080	258,720.64		246,259.00	246,259.00
06426KBL1	19-0046	SONHBT	249,000.00	2.100	11/27/2023	07/26/2019	1,274	2.144	263,130.25		248,190.75	248,190.75
538036HC1	19-0095	LIVOAK	249,000.00	1.800	12/11/2023	12/11/2019	1,288	1.879	260,622.82		248,253.00	248,253.00
38148P5B9	19-0003	GOLD	246,000.00	3.100	02/13/2024	02/13/2019	1,352	3.178	269,571.23		245,139.00	245,139.00
07815AAY3	20-0021	STBFAR	249,000.00	1.650	02/27/2024	02/27/2020	1,366	1.729	249,938.23		248,253.00	248,253.00
06251AW48	19-0016	BKHAP	246,000.00	2.900	03/25/2024	04/12/2019	1,393	2.903	268,319.83	Received	246,000.00	246,000.00
05465DAK4	20-0023	BOFI	249,000.00	1.650	03/26/2024	03/26/2020	1,394	1.697	259,800.13		248,564.25	248,564.25
90348JJQ4	19-0010	UBS	249,000.00	2.900	04/03/2024	04/03/2019	1,402	2.903	271,682.90		249,000.00	249,000.00
7954502H7	19-0015	SLMA	245,000.00	2.800	04/17/2024	04/17/2019	1,416	2.900	266,558.04		243,897.50	243,897.50
32056GDH0	20-0067	FIBIND	249,000.00	0.850	05/13/2024	05/11/2020	1,442	0.876	252,194.92		248,751.00	248,751.00
14042RLP4	19-0024	CAP1NA	246,000.00	2.650	05/22/2024	05/22/2019	1,451	2.761	266,616.77		244,770.00	244,770.00
14042TAP2	19-0025	CAP1US	246,000.00	2.650	05/22/2024	05/22/2019	1,451	2.761	266,616.77		244,770.00	244,770.00
61690UGC8	19-0026	MSBKNA	246,000.00	2.600	05/23/2024	05/24/2019	1,452	2.743	266,141.74	Received	244,401.00	244,401.00
27002YEN2	19-0028	EAGLE	249,000.00	2.500	05/24/2024	05/24/2019	1,453	2.588	268,395.36		248,004.00	248,004.00
856285QG9	19-0031	INDIA	246,000.00	2.850	06/19/2024	06/19/2019	1,479	2.907	246,327.67		245,385.00	245,385.00
33767GAM0	19-0084	FIRSTB	249,000.00	1.850	10/25/2024	10/29/2019	1,607	1.910	261,203.74	Received	248,315.25	248,315.25
48128LVJ5	19-0101	JPMC	247,000.00	2.130	12/30/2024	12/30/2019	1,673	2.212	247,403.60		246,073.75	246,073.75
064236BK7	20-0028	BNKMOR	249,000.00	1.250	03/27/2025	03/27/2020	1,760	1.313	251,318.69		248,253.00	248,253.00
44329ME33	20-0064	HSBC	248,000.00	1.300	05/07/2025	05/07/2020	1,801	1.373	250,724.78		247,132.00	247,132.00
Negotiatble CDs Totals			12,145,000.00				1,125	1.925	12,634,083.04	0.00	12,119,529.52	12,119,529.52
Commercial Paper - Discount												
4497W0FH6	19-0100	INGFDG	1,500,000.00	1.890	06/17/2020	12/20/2019	16	1.935	1,485,825.00		1,485,825.00	1,485,825.00
63873JFV7	19-0104	NATIX	575,000.00	1.900	06/29/2020	12/31/2019	28	1.945	569,507.15		569,507.15	569,507.15
62479LGT6	20-0007	MUFGBK	1,000,000.00	1.680	07/27/2020	01/30/2020	56	1.718	991,646.66		991,646.66	991,646.66

City of Hamilton
Portfolio Management
Investment Status Report - Investments
May 31, 2020

CUSIP	Investment #	Issuer	Par Value	Stated Rate	Maturity Date	Purchase Date	Days to Maturity	YTM	Market Value	Accrued Interest At Purchase	Current Principal	Book Value
Commercial Paper - Discount												
2254EAH55	20-0016	CSFBNY	650,000.00	1.620	08/05/2020	02/24/2020	65	1.655	645,232.25		645,232.25	645,232.25
89233GKN5	20-0062	TOY	2,000,000.00	1.690	10/22/2020	04/28/2020	143	1.728	1,983,381.66		1,983,381.66	1,983,381.66
89233GL46	20-0066	TOY	750,000.00	1.390	11/04/2020	05/08/2020	156	1.419	744,787.50		744,787.50	744,787.50
Commercial Paper - Discount Totals			6,475,000.00				84	1.750	6,420,380.22	0.00	6,420,380.22	6,420,380.22
Federal Agency - Coupon (Callable)												
3136G32C8	17-0025	FNMA	325,000.00	1.300	08/24/2021	12/28/2017	449	2.216	329,455.05	Received	314,600.00	314,600.00
3134GVHU5	20-0043	FHLMC	1,000,000.00	1.150	03/30/2022	03/30/2020	667	1.150	1,000,745.51		1,000,000.00	1,000,000.00
3133ELTX2	20-0036	FFCB	500,000.00	0.930	09/19/2022	03/19/2020	840	0.960	500,041.81		499,625.00	499,625.00
3134GVJP4	20-0047	FHLMC	500,000.00	1.125	10/07/2022	04/08/2020	858	1.125	500,472.54		500,000.00	500,000.00
3133ELWR1	20-0056	FFCB	1,000,000.00	0.875	10/20/2022	04/20/2020	871	0.875	1,000,003.58		1,000,000.00	1,000,000.00
3134GVZQ4	20-0072	FHLMC	500,000.00	0.375	11/25/2022	05/29/2020	907	0.387	499,942.37	15.63	499,850.00	499,865.63
3135G0X81	20-0011	FNMA	1,000,000.00	1.700	01/30/2023	02/12/2020	973	1.700	1,002,596.22	566.67	1,000,000.00	1,000,566.67
3130AJBC2	20-0025	FHLB	500,000.00	1.600	03/03/2023	03/06/2020	1,005	1.600	500,039.17	66.67	500,000.00	500,066.67
3133ELRT3	20-0029	FFCB	1,000,000.00	1.330	03/09/2023	03/09/2020	1,011	1.330	1,000,208.21		1,000,000.00	1,000,000.00
3133ELRZ9	20-0027	FFCB	525,000.00	1.240	03/10/2023	03/10/2020	1,012	1.240	527,280.27		525,000.00	525,000.00
3130AJDC0	20-0035	FHLB	495,000.00	1.040	03/30/2023	03/30/2020	1,032	1.042	495,708.51		494,975.25	494,975.25
3134GVJN9	20-0046	FHLMC	500,000.00	1.200	04/06/2023	04/08/2020	1,039	1.200	500,438.99		500,000.00	500,000.00
3134GVJW9	20-0050	FHLMC	500,000.00	1.100	04/13/2023	04/13/2020	1,046	1.100	500,528.58		500,000.00	500,000.00
3134GVKH0	20-0054	FHLMC	500,000.00	0.950	04/20/2023	04/20/2020	1,053	0.950	500,410.55		500,000.00	500,000.00
3134GVWQ7	20-0073	FHLMC	1,000,000.00	0.550	05/19/2023	05/29/2020	1,082	0.552	999,724.63	152.78	999,950.00	1,000,102.78
3134GTC68	19-0038	FHLMC	500,000.00	2.220	07/17/2023	07/17/2019	1,141	2.220	501,037.81		500,000.00	500,000.00
3134GUJG6	19-0079	FHLMC	250,000.00	1.700	10/23/2023	10/23/2019	1,239	1.747	251,260.57		249,550.00	249,550.00
3134GVLR7	20-0058	FHLMC	500,000.00	0.800	10/27/2023	04/27/2020	1,243	0.800	500,060.50		500,000.00	500,000.00
3136G4UC5	20-0008	FNMA	500,000.00	1.700	10/30/2023	01/30/2020	1,246	1.700	502,552.03		500,000.00	500,000.00
3134GU6Q8	20-0010	FHLMC	500,000.00	1.750	11/07/2023	02/07/2020	1,254	1.760	501,168.99		499,825.00	499,825.00
3133ELBG8	19-0092	FFCB	500,000.00	1.790	11/27/2023	11/27/2019	1,274	1.790	503,320.57		500,000.00	500,000.00
3134GVZZ4	20-0071	FHLMC	1,000,000.00	0.500	11/28/2023	05/29/2020	1,275	0.517	999,708.28		999,400.00	999,400.00
3134GVRP5	20-0068	FHLMC	500,000.00	0.625	02/05/2024	05/21/2020	1,344	0.632	500,014.34	138.89	499,875.00	500,013.89
3133ELMJ0	20-0009	FFCB	500,000.00	1.690	02/12/2024	02/12/2020	1,351	1.690	503,654.79		500,000.00	500,000.00
3133ELSL9	20-0030	FFCB	1,000,000.00	1.050	03/12/2024	03/12/2020	1,380	1.050	1,002,973.60		1,000,000.00	1,000,000.00
3133ELST2	20-0039	FFCB	1,000,000.00	1.210	03/12/2024	03/27/2020	1,380	1.249	1,000,007.68	504.17	998,500.00	999,004.17
3133ELUM4	20-0037	FFCB	500,000.00	1.200	03/25/2024	03/25/2020	1,393	1.239	500,004.18		499,250.00	499,250.00
3134GUEN6	19-0072	FHLMC	500,000.00	1.875	03/28/2024	09/30/2019	1,396	1.875	504,871.95		500,000.00	500,000.00
3133ELXC3	20-0061	FFCB	500,000.00	0.800	04/22/2024	04/23/2020	1,421	0.800	500,199.97	11.11	500,000.00	500,011.11
3133ELXF6	20-0059	FFCB	500,000.00	0.980	04/24/2024	04/24/2020	1,423	0.980	500,052.19		500,000.00	500,000.00
3133ELZY3	20-0069	FFCB	1,000,000.00	0.640	05/20/2024	05/26/2020	1,449	0.653	999,547.69	106.67	999,500.00	999,606.67

City of Hamilton
Portfolio Management
Investment Status Report - Investments
May 31, 2020

CUSIP	Investment #	Issuer	Par Value	Stated Rate	Maturity Date	Purchase Date	Days to Maturity	YTM	Market Value	Accrued Interest At Purchase	Current Principal	Book Value
Federal Agency - Coupon (Callable)												
3134GTX6	19-0034	FHLMC	700,000.00	2.100	06/26/2024	06/28/2019	1,486	2.100	700,760.80		700,000.00	700,000.00
3134GTXS7	19-0036	FHLMC	1,250,000.00	2.220	06/26/2024	06/28/2019	1,486	2.220	1,251,517.75	Received	1,250,000.00	1,250,000.00
3133EKTT3	19-0037	FFCB	600,000.00	2.230	07/08/2024	07/08/2019	1,498	2.230	600,979.69		600,000.00	600,000.00
3130AGQE8	19-0040	FHLB	500,000.00	2.270	07/22/2024	07/22/2019	1,512	2.291	501,142.04		499,500.00	499,500.00
3134GTV59	19-0060	FHLMC	250,000.00	2.150	08/05/2024	08/23/2019	1,526	2.096	250,644.74	Received	250,625.00	250,625.00
3133EKZN9	19-0059	FFCB	500,000.00	2.060	08/13/2024	08/23/2019	1,534	2.060	501,123.49	Received	500,000.00	500,000.00
3133EKC61	19-0051	FFCB	500,000.00	2.100	08/20/2024	08/20/2019	1,541	2.100	501,806.16		500,000.00	500,000.00
3133EKN93	19-0086	FFCB	260,000.00	1.960	09/16/2024	10/30/2019	1,568	1.998	260,970.28	Received	259,545.00	259,545.00
3134GUN30	19-0103	FHLMC	525,000.00	2.070	12/30/2024	12/30/2019	1,673	2.070	525,615.19		525,000.00	525,000.00
3130AHXJ7	20-0002	FHLB	500,000.00	1.920	01/21/2025	01/24/2020	1,695	1.920	504,063.59	80.00	500,000.00	500,080.00
3134GU4M9	20-0005	FHLMC	500,000.00	2.000	01/21/2025	01/27/2020	1,695	2.000	500,834.65	166.67	500,000.00	500,166.67
3134GU5A4	20-0003	FHLMC	500,000.00	1.850	01/29/2025	01/29/2020	1,703	1.871	504,193.70		499,500.00	499,500.00
3130AJ4M8	20-0022	FHLB	785,000.00	1.750	02/12/2025	02/26/2020	1,717	1.750	789,746.98	534.24	785,000.00	785,534.24
3135G0Y23	20-0017	FNMA	500,000.00	1.900	02/18/2025	02/26/2020	1,723	1.900	501,130.10	211.11	500,000.00	500,211.11
3133ELQF4	20-0024	FFCB	600,000.00	1.750	03/03/2025	03/03/2020	1,736	1.750	600,060.35		600,000.00	600,000.00
3133ELRN6	20-0026	FFCB	500,000.00	1.500	03/05/2025	03/06/2020	1,738	1.500	500,918.26	20.83	500,000.00	500,020.83
3134GVHY7	20-0044	FHLMC	1,000,000.00	1.500	03/26/2025	03/31/2020	1,759	1.500	1,000,900.65		1,000,000.00	1,000,000.00
3134GVVT2	20-0070	FHLMC	1,000,000.00	0.920	05/19/2025	05/28/2020	1,813	0.920	1,000,062.46	230.00	1,000,000.00	1,000,230.00
3133ELC28	20-0074	FFCB	500,000.00	0.730	05/27/2025	05/29/2020	1,821	0.756	499,223.72	20.28	499,375.00	499,395.28
Federal Agency - Coupon (Callable) Totals			31,065,000.00				1,324	1.402	31,123,725.73	2,825.72	31,048,445.25	31,051,270.97
Treasury Securities - Coupon												
912828NT3	18-0026	USTN	500,000.00	2.625	08/15/2020	10/03/2018	75	2.788	502,568.50	Received	498,515.63	498,515.63
912828L65	17-0003	USTN	1,000,000.00	1.375	09/30/2020	01/26/2017	121	1.718	1,003,906.00	Received	987,812.50	987,812.50
912828Q37	17-0007	USTN	600,000.00	1.250	03/31/2021	03/31/2017	303	1.801	605,226.60		587,296.88	587,296.88
912828R77	17-0021	USTN	650,000.00	1.375	05/31/2021	10/17/2017	364	1.764	657,566.65	Received	641,164.06	641,164.06
912828S76	17-0009	USTN	860,000.00	1.125	07/31/2021	04/20/2017	425	1.641	869,271.66	Received	841,725.00	841,725.00
912828T67	17-0010	USTN	550,000.00	1.250	10/31/2021	04/28/2017	517	1.791	558,250.00	Received	537,173.83	537,173.83
912828H86	17-0019	USTN	475,000.00	1.500	01/31/2022	09/27/2017	609	1.798	485,427.68	Received	469,099.61	469,099.61
912828YK0	19-0090	USTN	750,000.00	1.375	10/15/2022	11/14/2019	866	1.649	771,240.00	Received	744,169.92	744,169.92
912828YH7	19-0098	USTN	1,000,000.00	1.500	09/30/2024	12/17/2019	1,582	1.705	1,052,891.00	Received	990,625.00	990,625.00
Treasury Securities - Coupon Totals			6,385,000.00				588	1.807	6,506,348.09	0.00	6,297,582.43	6,297,582.43
Investment Totals			65,369,000.00				1,010	1.596	66,197,911.44	2,825.72	65,151,838.94	65,154,664.66

**City of Hamilton
Purchases Report
Sorted by Purchase Date - Fund
May 1, 2020 - May 31, 2020**

CUSIP	Investment #	Fund	Sec. Type	Issuer	Original Par Value	Purchase Date	Payment Periods	Principal Purchased	Accrued Interest at Purchase	Rate at Purchase	Maturity Date	YTM	Ending Book Value
44329ME33	20-0064	OP	NC2	HSBC	248,000.00	05/07/2020	11/07 - 05/07	247,132.00		1.300	05/07/2025	1.373	247,132.00
72345SKS9	20-0063	OP	NC2	PNFP	248,000.00	05/07/2020	11/07 - 05/07	247,752.00		0.900	05/09/2022	0.951	247,752.00
89233GL46	20-0066	OP	COM	TOY	750,000.00	05/08/2020	11/04 - At Maturity	744,787.50		1.390	11/04/2020	1.419	744,787.50
32056GDH0	20-0067	OP	NC2	FIBIND	249,000.00	05/11/2020	06/11 - Monthly	248,751.00		0.850	05/13/2024	0.876	248,751.00
88413QCL0	20-0065	OP	NC2	THFDSL	249,000.00	05/14/2020	11/14 - 05/14	248,502.00		0.800	05/15/2023	0.868	248,502.00
3134GVRP5	20-0068	OP	FAC	FHLMC	500,000.00	05/21/2020	08/05 - 02/05	499,875.00	138.89	0.625	02/05/2024	0.632	500,013.89
3133ELZY3	20-0069	OP	FAC	FFCB	1,000,000.00	05/26/2020	11/20 - 05/20	999,500.00	106.67	0.640	05/20/2024	0.653	999,606.67
3134GVVT2	20-0070	OP	FAC	FHLMC	1,000,000.00	05/28/2020	11/19 - 05/19	1,000,000.00	230.00	0.920	05/19/2025	0.920	1,000,230.00
3133ELC28	20-0074	OP	FAC	FFCB	500,000.00	05/29/2020	11/27 - 05/27	499,375.00	20.28	0.730	05/27/2025	0.756	499,395.28
3134GVZZ4	20-0071	OP	FAC	FHLMC	1,000,000.00	05/29/2020	11/28 - 05/28	999,400.00		0.500	11/28/2023	0.517	999,400.00
3134GVZQ4	20-0072	OP	FAC	FHLMC	500,000.00	05/29/2020	11/25 - 05/25	499,850.00	15.63	0.375	11/25/2022	0.387	499,865.63
3134GVWQ7	20-0073	OP	FAC	FHLMC	1,000,000.00	05/29/2020	11/19 - 05/19	999,950.00	152.78	0.550	05/19/2023	0.552	1,000,102.78
Total Purchases					7,244,000.00			7,234,874.50	664.25				7,235,538.75

**City of Hamilton
Sales/Call Report
Sorted by Redemption Date - Fund
May 1, 2020 - May 31, 2020**

CUSIP	Investment #	Fund	Issuer Sec. Type	Purchase Date	Redem. Date Matur. Date	Par Value	Rate at Redem.	Book Value at Redem.	Redemption Principal	Redemption Interest	Total Amount	Net Income
51210SSG3	20-0052	OP	LAKESD NC2	04/14/2020	05/07/2020 10/14/2022	249,000.00	1.150	248,751.00	249,000.00	180.44	249,180.44 Sale	429.44
3133ELLX0	20-0014	OP	FFCB FAC	02/21/2020	05/08/2020 08/05/2022	750,000.00	1.630	750,093.33	750,000.00	3,158.13	753,158.13 Call	3,064.80
3133ELNR1	20-0019	OP	FFCB FAC	02/27/2020	05/20/2020 02/20/2024	500,000.00	1.770	500,172.08	500,000.00	2,212.50	502,212.50 Call	2,040.42
3135G0N66	16-0099	OP	FNMA FAC	08/24/2016	05/24/2020 08/24/2020	1,000,000.00	1.400	999,750.00	1,000,000.00	3,500.00	1,003,500.00 Call	3,750.00
3130A9Z46	17-0016	OP	FHLB FAC	09/05/2017	05/26/2020 11/26/2021	400,000.00	1.600	396,620.00	400,000.00	3,200.00	403,200.00 Call	6,580.00
3134GUWH9	19-0093	OP	FHLMC FAC	11/29/2019	05/27/2020 11/27/2024	500,000.00	2.000	500,055.56	500,000.00	5,000.00	505,000.00 Call	4,944.44
3130AJA33	20-0015	OP	FHLB FAC	02/28/2020	05/28/2020 02/28/2023	500,000.00	1.800	500,000.00	500,000.00	2,250.00	502,250.00 Call	2,250.00
3134GTNX7	19-0027	OP	FHLMC FAC	05/28/2019	05/28/2020 05/28/2024	500,000.00	2.700	500,000.00	500,000.00	6,750.00	506,750.00 Call	6,750.00
3134GAGK4	19-0043	OP	FHLMC FAC	07/17/2019	05/28/2020 08/28/2023	682,000.00	1.840	674,498.00	682,000.00	3,137.20	685,137.20 Call	10,639.20
3134GVDY1	20-0018	OP	FHLMC FAC	02/28/2020	05/28/2020 05/28/2024	500,000.00	1.700	499,950.00	500,000.00	2,125.00	502,125.00 Call	2,175.00
3134GVDZ8	20-0020	OP	FHLMC FAC	02/28/2020	05/28/2020 02/28/2023	500,000.00	1.725	500,000.00	500,000.00	2,156.25	502,156.25 Call	2,156.25
3136G35C5	16-0101	OP	FNMA FAC	08/30/2016	05/28/2020 08/28/2020	1,000,000.00	1.400	1,000,000.00	1,000,000.00	3,500.00	1,003,500.00 Call	3,500.00
Total Sales						7,081,000.00		7,069,889.97	7,081,000.00	37,169.52	7,118,169.52	48,279.55

**City of Hamilton
Maturity Report
Sorted by Maturity Date
Receipts during May 1, 2020 - May 31, 2020**

CUSIP	Investment #	Fund	Sec. Type	Issuer	Par Value	Maturity Date	Purchase Date	Rate at Maturity	Book Value at Maturity	Interest	Maturity Proceeds	Net Income
912828VF4	17-0004	OP	TRC	USTN	1,270,000.00	05/31/2020	01/27/2017	1.375	1,259,582.02	8,731.25	1,278,731.25	19,149.23
Total Maturities					1,270,000.00				1,259,582.02	8,731.25	1,278,731.25	19,149.23

**City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020**

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest				
						Rate	Date Due	Amount Due	Date Received	Amount Received
BMW Bank of NA										
05580ATH7	19-0099	OP	Negotiatble CDs	247,000.00	11/29/2022	1.800	05/29/2020	2,216.91	05/29/2020	2,216.91
							05/29/2020	-243.62	05/29/2020	-243.62
			Subtotal	247,000.00		1.800		1,973.29		1,973.29
			BMW Bank of NA Total	247,000.00				1,973.29		1,973.29
Bank of Old Monroe										
064236BK7	20-0028	OP	Negotiatble CDs	249,000.00	03/27/2025	1.250	05/27/2020	255.82	05/27/2020	255.82
			Subtotal	249,000.00		1.250		255.82		255.82
			Bank of Old Monroe Total	249,000.00				255.82		255.82
BanWest Inc.										
06652CGX3	19-0035	OP	Negotiatble CDs	249,000.00	06/27/2023	2.050	05/27/2020	419.55	05/27/2020	419.55
			Subtotal	249,000.00		2.050		419.55		419.55
			BanWest Inc. Total	249,000.00				419.55		419.55
Axos Bank										
05465DAK4	20-0023	OP	Negotiatble CDs	249,000.00	03/26/2024	1.650	05/26/2020	337.68	05/26/2020	337.68
			Subtotal	249,000.00		1.650		337.68		337.68
			Axos Bank Total	249,000.00				337.68		337.68
Capital One NA										
14042RLP4	19-0024	OP	Negotiatble CDs	246,000.00	05/22/2024	2.650	05/22/2020	3,250.57	05/22/2020	3,250.57
			Subtotal	246,000.00		2.650		3,250.57		3,250.57
			Capital One NA Total	246,000.00				3,250.57		3,250.57
Capital One Bank USA NA										
14042TAP2	19-0025	OP	Negotiatble CDs	246,000.00	05/22/2024	2.650	05/22/2020	3,250.57	05/22/2020	3,250.57
			Subtotal	246,000.00		2.650		3,250.57		3,250.57
			Capital One Bank USA NA Total	246,000.00				3,250.57		3,250.57

City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest				
						Rate	Date Due	Amount Due	Date Received	
Celtic Bank										
15118RRF6	19-0055	OP	Negotiatble CDs	249,000.00	08/30/2023	1.800	05/30/2020	368.38	05/30/2020	368.38
			Subtotal	249,000.00		1.800		368.38		368.38
			Celtic Bank Total	249,000.00				368.38		368.38
Comenity Capital Bank										
20033AW36	19-0022	OP	Negotiatble CDs	249,000.00	05/15/2023	2.650	05/15/2020	542.34	05/15/2020	542.34
			Subtotal	249,000.00		2.650		542.34		542.34
			Comenity Capital Bank Total	249,000.00				542.34		542.34
Eagle Bank										
27002YEN2	19-0028	OP	Negotiatble CDs	249,000.00	05/24/2024	2.500	05/24/2020	511.64	05/24/2020	511.64
			Subtotal	249,000.00		2.500		511.64		511.64
			Eagle Bank Total	249,000.00				511.64		511.64
First Capital Bank SC										
31944ABM2	20-0033	OP	Negotiatble CDs	248,000.00	03/20/2023	1.100	05/20/2020	224.22	05/20/2020	224.22
			Subtotal	248,000.00		1.100		224.22		224.22
			First Capital Bank SC Total	248,000.00				224.22		224.22
Federal Farm Credit Bank										
3133ELBG8	19-0092	OP	Federal Agency - Coupon (Callable)	500,000.00	11/27/2023	1.790	05/27/2020	4,475.00	05/27/2020	4,475.00
			Subtotal	500,000.00		1.790		4,475.00		4,475.00
3133ELLX0	20-0014		Federal Agency - Coupon (Callable)	0.00	08/05/2022	1.630	05/08/2020	3,158.13	05/08/2020	3,158.13
							05/08/2020	-543.33	05/08/2020	-543.33
			Subtotal	0.00		1.630		2,614.80		2,614.80
3133ELNR1	20-0019		Federal Agency - Coupon (Callable)	0.00	02/20/2024	1.770	05/20/2020	2,212.50	05/20/2020	2,212.50
							05/20/2020	-172.08	05/20/2020	-172.08
			Subtotal	0.00		1.770		2,040.42		2,040.42
			Federal Farm Credit Bank Total	500,000.00				9,130.22		9,130.22
Federal Home Loan Bank										
3130A9Z46	17-0016	OP	Federal Agency - Coupon (Callable)	0.00	11/26/2021	1.600	05/26/2020	3,200.00	05/26/2020	3,200.00
			Subtotal	0.00		1.600		3,200.00		3,200.00
3130AJA33	20-0015		Federal Agency - Coupon (Callable)	0.00	02/28/2023	1.800	05/28/2020	2,250.00	05/28/2020	2,250.00

**City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020**

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest				
						Rate	Date Due	Amount Due	Date Received	
Subtotal				0.00		1.800		2,250.00		2,250.00
Federal Home Loan Bank Total				0.00				5,450.00		5,450.00
Federal Home Loan Mortgage Crp										
3134G9QB6	16-0060	OP	Federal Agency - Coupon (NC)	500,000.00	11/25/2020	1.500	05/25/2020	3,750.00	05/25/2020	3,750.00
Subtotal				500,000.00		1.500		3,750.00		3,750.00
3134GTNX7	19-0027		Federal Agency - Coupon (Callable)	0.00	05/28/2024	2.700	05/28/2020	6,750.00	05/28/2020	6,750.00
Subtotal				0.00		2.700		6,750.00		6,750.00
3134GAGK4	19-0043		Federal Agency - Coupon (Callable)	0.00	08/28/2023	1.840	05/28/2020	3,137.20	05/28/2020	3,137.20
Subtotal				0.00		1.840		3,137.20		3,137.20
3134GUWH9	19-0093		Federal Agency - Coupon (Callable)	0.00	11/27/2024	2.000	05/27/2020	5,000.00	05/27/2020	5,000.00
Subtotal				0.00		2.000		4,944.44		4,944.44
3134GVDY1	20-0018		Federal Agency - Coupon (Callable)	0.00	05/28/2024	1.700	05/28/2020	2,125.00	05/28/2020	2,125.00
Subtotal				0.00		1.700		2,125.00		2,125.00
3134GVDZ8	20-0020		Federal Agency - Coupon (Callable)	0.00	02/28/2023	1.725	05/28/2020	2,156.25	05/28/2020	2,156.25
Subtotal				0.00		1.725		2,156.25		2,156.25
Federal Home Loan Mortgage Crp Total				500,000.00				22,862.89		22,862.89
Firstbank Puerto Rico										
33767GAM0	19-0084	OP	Negotiatble CDs	249,000.00	10/25/2024	1.850	05/25/2020	378.62	05/25/2020	378.62
Subtotal				249,000.00		1.850		378.62		378.62
Firstbank Puerto Rico Total				249,000.00				378.62		378.62
Federal National Mortgage Assn										
3135G0N66	16-0099	OP	Federal Agency - Coupon (Callable)	0.00	08/24/2020	1.400	05/24/2020	3,500.00	05/24/2020	3,500.00
Subtotal				0.00		1.400		3,500.00		3,500.00
3136G35C5	16-0101		Federal Agency - Coupon (Callable)	0.00	08/28/2020		05/28/2020	3,500.00	05/28/2020	3,500.00
Subtotal				0.00		1.400		3,500.00		3,500.00
Federal National Mortgage Assn Total				0.00				7,000.00		7,000.00
Lakeside Bank										
51210SSA6	20-0042	OP	Negotiatble CDs	249,000.00	09/29/2023	1.350	05/31/2020	285.50	05/31/2020	285.50
Subtotal				249,000.00		1.350		285.50		285.50

City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest				
						Rate	Date Due	Amount Due	Date Received	
Lakeside Bank										
51210SSG3	20-0052	OP	Negotiatble CDs	0.00	10/14/2022	1.150	05/07/2020	180.44	05/07/2020	180.44
			Subtotal	0.00		1.150		180.44		180.44
			Lakeside Bank Total	249,000.00				465.94		465.94
Live oak Banking Co.										
538036HC1	19-0095	OP	Negotiatble CDs	249,000.00	12/11/2023	1.800	05/01/2020	368.38	05/01/2020	368.38
			Subtotal	249,000.00		1.800		368.38		368.38
			Live oak Banking Co. Total	249,000.00				368.38		368.38
Medallion Bank UTAH										
58404DET4	19-0045	OP	Negotiatble CDs	249,000.00	07/24/2023	2.100	05/22/2020	429.78	05/22/2020	429.78
			Subtotal	249,000.00		2.100		429.78		429.78
			Medallion Bank UTAH Total	249,000.00				429.78		429.78
Merrick Bank										
59013KBQ8	19-0047	OP	Negotiatble CDs	249,000.00	07/24/2023	2.150	05/23/2020	440.01	05/23/2020	440.01
			Subtotal	249,000.00		2.150		440.01		440.01
			Merrick Bank Total	249,000.00				440.01		440.01
Marlin Business Bank										
57116AUD8	20-0057	OP	Negotiatble CDs	249,000.00	04/25/2022	1.150	05/24/2020	235.36	05/24/2020	235.36
			Subtotal	249,000.00		1.150		235.36		235.36
			Marlin Business Bank Total	249,000.00				235.36		235.36
Morgan Stanley Chase Bank NA										
61690UGC8	19-0026	OP	Negotiatble CDs	246,000.00	05/23/2024	2.600	05/23/2020	3,189.24	05/23/2020	3,189.24
			Subtotal	246,000.00		2.600		3,189.24		3,189.24
			Morgan Stanley Chase Bank NA Total	246,000.00				3,189.24		3,189.24
Connectone Bank										
20786ADA0	20-0055	OP	Negotiatble CDs	249,000.00	10/21/2022	1.200	05/22/2020	245.59	05/22/2020	245.59
			Subtotal	249,000.00		1.200		245.59		245.59
			Connectone Bank Total	249,000.00				245.59		245.59

City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest				
						Rate	Date Due	Amount Due	Date Received	
ServiFirst Bank										
81768PAF3	20-0012	OP	Negotiatble CDs	249,000.00	02/21/2023	1.600	05/21/2020	327.45	05/21/2020	327.45
			Subtotal	249,000.00		1.600		327.45		327.45
			ServiFirst Bank Total	249,000.00				327.45		327.45
Bank of New England NH										
06426KBL1	19-0046	OP	Negotiatble CDs	249,000.00	11/27/2023	2.100	05/26/2020	429.78	05/26/2020	429.78
			Subtotal	249,000.00		2.100		429.78		429.78
			Bank of New England NH Total	249,000.00				429.78		429.78
Bell Bank Corp.										
07815AAY3	20-0021	OP	Negotiatble CDs	249,000.00	02/27/2024	1.650	05/27/2020	337.68	05/27/2020	337.68
			Subtotal	249,000.00		1.650		337.68		337.68
			Bell Bank Corp. Total	249,000.00				337.68		337.68
UBS Bank USA										
90348JJQ4	19-0010	OP	Negotiatble CDs	249,000.00	04/03/2024	2.900	05/03/2020	593.51	05/03/2020	593.51
			Subtotal	249,000.00		2.900		593.51		593.51
			UBS Bank USA Total	249,000.00				593.51		593.51
U.S. Treasury Note										
912828VF4	17-0004	OP	Treasury Securities - Coupon	0.00	05/31/2020	1.375	05/31/2020	8,731.25	05/31/2020	8,731.25
			Subtotal	0.00		1.375		8,731.25		8,731.25
912828R77	17-0021		Treasury Securities - Coupon	650,000.00	05/31/2021		05/31/2020	4,468.75	05/31/2020	4,468.75
			Subtotal	650,000.00		1.375		4,468.75		4,468.75
			U.S. Treasury Note Total	650,000.00				13,200.00		13,200.00
Wells Fargo Bank NA										
949763YY6	19-0014	OP	Negotiatble CDs	249,000.00	04/10/2023	2.750	05/10/2020	562.81	05/10/2020	562.81
			Subtotal	249,000.00		2.750		562.81		562.81
			Wells Fargo Bank NA Total	249,000.00				562.81		562.81
Wells Fargo Nat'l. Bank West										
949495AA3	19-0096	OP	Negotiatble CDs	249,000.00	12/13/2022	1.800	05/13/2020	368.38	05/13/2020	368.38
			Subtotal	249,000.00		1.800		368.38		368.38

City of Hamilton
Interest History
Sorted by Fund
May 1, 2020 - May 31, 2020

CUSIP	Investment #	Fund	Security Type	Par Value	Redemption Date	Interest		
						Rate	Date Due	Amount Due
			Wells Fargo Nat'l. Bank West Total	249,000.00			368.38	368.38
			Total	7,614,000.00			77,149.70	77,149.70

City of Hamilton
Period Realized Gains and Losses
Sorted By Maturity/Sale/Call Date
Sales/Calls/Maturities: May 1, 2020 - May 31, 2020

Investment #	Inv. Type	Purchase Date	Par Value	Sale Date	Days Active		Maturity/Sale	Realized	Total	Period	Period
Issuer			Current Rate	Maturity Date	Term	Book Value	Proceeds	Gain/Loss	Earnings	Net Earnings	Yield 365
20-0052 Lakeside Bank	NC2	04/14/2020	249,000.00 1.150	05/07/2020 10/14/2022	6 913	248,751.00	249,000.00	249.00	47.07	296.07	7.241
20-0014 Federal Farm Credit Bank	FAC	02/21/2020	750,000.00 1.630	05/08/2020 08/05/2022	7 896	750,093.33	750,543.33	450.00	237.71	687.71	4.781
20-0019 Federal Farm Credit Bank	FAC	02/27/2020	500,000.00 1.770	05/20/2020 02/20/2024	19 1,454	500,172.08	500,172.08	0.00	467.08	467.08	1.794
16-0099 Federal National Mortgage Assn	FAC	08/24/2016	1,000,000.00 1.400	05/24/2020 08/24/2020	23 1,461	999,750.00	1,000,000.00	250.00	894.44	1,144.44	1.817
17-0016 Federal Home Loan Bank	FAC	09/05/2017	400,000.00 1.600	05/26/2020 11/26/2021	25 1,543	396,620.00	400,000.00	3,380.00	444.44	3,824.44	14.078
19-0093 Federal Home Loan Mortgage Crp	FAC	11/29/2019	500,000.00 2.000	05/27/2020 11/27/2024	26 1,825	500,055.56	500,055.56	0.00	722.22	722.22	2.028
20-0015 Federal Home Loan Bank	FAC	02/28/2020	500,000.00 1.800	05/28/2020 02/28/2023	27 1,096	500,000.00	500,000.00	0.00	675.00	675.00	1.825
19-0027 Federal Home Loan Mortgage Crp	FAC	05/28/2019	500,000.00 2.700	05/28/2020 05/28/2024	27 1,827	500,000.00	500,000.00	0.00	1,012.50	1,012.50	2.738
19-0043 Federal Home Loan Mortgage Crp	FAC	07/17/2019	682,000.00 1.840	05/28/2020 08/28/2023	27 1,503	674,498.00	682,000.00	7,502.00	941.16	8,443.16	16.922
20-0018 Federal Home Loan Mortgage Crp	FAC	02/28/2020	500,000.00 1.700	05/28/2020 05/28/2024	27 1,551	499,950.00	500,000.00	50.00	637.50	687.50	1.859
20-0020 Federal Home Loan Mortgage Crp	FAC	02/28/2020	500,000.00 1.725	05/28/2020 02/28/2023	27 1,096	500,000.00	500,000.00	0.00	646.88	646.88	1.749
16-0101 Federal National Mortgage Assn	FAC	08/30/2016	1,000,000.00 1.400	05/28/2020 08/28/2020	27 1,459	1,000,000.00	1,000,000.00	0.00	1,050.00	1,050.00	1.419
17-0004 U.S. Treasury Note	TRC	01/27/2017	1,270,000.00 1.375	05/31/2020 05/31/2020	30 1,220	1,259,582.02	1,270,000.00	10,417.98	1,431.35	11,849.33	11.446
Total Realized Gains/Losses						8,329,471.99	8,351,770.97	22,298.98	9,207.35	31,506.33	5.527

Portfolio HAMT

NL! CC

CG (PRF_CGR1) 7.1.1

Report Ver. 7.3.6.1

Data Updated: FUNDSNAP: 06/08/2020 14:02

Run Date: 06/08/2020 - 14:02

GREENUP PROCEEDS FUND

**City of Hamilton-Greenup Proc
Portfolio Management
Investment Status Report - Investments
May 31, 2020**

CUSIP	Investment #	Issuer	Par Value	Stated Rate	Maturity Date	Purchase Date	Days to Maturity	YTM	Market Value	Accrued Interest At Purchase	Current Principal	Book Value
Federal Agency - Coupon (NC)												
3133EGJD8	16-0079	FFCB	1,000,000.00	1.140	06/29/2020	06/29/2016	28	1.200	1,000,871.96		997,676.00	997,676.00
Federal Agency - Coupon (NC) Totals			1,000,000.00				28	1.200	1,000,871.96	0.00	997,676.00	997,676.00
Investment Totals			1,000,000.00				28	1.200	1,000,871.96	0.00	997,676.00	997,676.00

City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to an application for multiple Conditional Use approvals at 1157 Central Avenue, Hamilton, Ohio, for a Convenience Store with Gasoline Refueling Pumps (Automotive Service and Minor Repair). This is a resubmittal due to major changes to the proposal from 2019. (Hamilton Investments LLC., Applicant).

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 8-12-2020
<input type="checkbox"/>	Resolution Date:
<input type="checkbox"/>	Public Hearing Date:

Dear Mayor and Members of Council:

Hamilton Investments LLC is requesting a Conditional Use Approval as part of an overall redevelopment of the properties located at 1157 Central Avenue. The property is zoned B-2 (Community Business), and is located within the NIA (Neighborhood Initiative Area) zoning overlay. Gas stations require a conditional use in the B-2 and NIA zoning districts, and drive-thrus require a conditional use in the NIA district.

Previous proposal:

Previously, the applicant proposed two (2) 3,600 square-foot buildings on the site, both with drive-thru windows, and a gas canopy with four (4) gasoline dispensers. City Council approved the conditional use application for this proposal at the November 13, 2019 Council meeting (OR2019-11-123).

Revised proposal, current proposal:

With the revised conditional use application, the applicant is proposing one (1) 6,300 square-foot building on the site, with one (1) drive-thru window, and a gas canopy with five (5) gasoline dispensers.

The revised singular building, is a one-story multi-tenant commercial building, with one (1) tenant proposed as a convenience store gas station. The new conditional use proposal also features notable differences in the proposed site configuration.

Due to the significant revisions of the proposal, the applicant requires a new conditional use application that requires review by the Planning Commission and City Council.

Per the applicant, all other secondary items pertaining to the overall proposal, gas canopy materials, and dumpster refuse enclosure materials will remain the same as the previously approved conditional use and site plan.



Tenant #1 / Convenience Store / Gas Station

One known tenant, a proposed convenience store portion of the gas station. The applicant has identified Sammy Hilal as the operator of the gas station. See Exhibit E for pictures of Mr. Hilal's current gas stations. The business will have approximately ten (10) employees but not all will work at the same time. The hours of operation are proposed to be as follows –

- 5:00 am to 11:00 pm Monday through Thursday
- 5:00 am to midnight on Friday and Saturday
- 7:00 am to 10:00 pm on Sunday

Tenants #2 & #3

The remainder of the proposed commercial building features two (2) other vacant tenant spaces. As of the writing of this report, no tenants or occupants have been selected.

Background Information

Application and Plans:

The submitted plan indicates the following information:

- 1) Proposed commercial building
 - a. This is the proposed new building for 1157 Central Avenue
 - i. 6,300 sq. ft. building
 - ii. The height of the building is sixteen feet (16'), with parapets at the tenant entrances
 - b. One tenant will be a convenience store associated with the gas station.
 - i. Convenience store with a walk-in cooler, beer cave, a kitchen, food preparation area, and a drive-thru sales window on the south facade of the building facing Knightsbridge
 - c. Facade Materials and Features:
 - i. Primarily brick - running bond, will be used for the structure
 - ii. The building will have a 12"x24" cast stone base at the bottom, with a cast stone sill
 - iii. EIFS band material will be used at the top of the façade and top/signage portions of the storefront entrances.
 - iv. Storefront system and windows will be insulated clear glass with dark bronze anodized aluminum. Three (3) storefront entrances, and five (5), three-panel front facade windows
 - v. Storefront entrances and windows will have fabric awnings



2) Gasoline Canopy

- a. There will be five (5) gas station pumps servicing up to ten (10) vehicles at a time
- b. The canopy is proposed to be twenty-six feet (26') tall, same as the previous proposal
- c. Measurements for the gasoline canopy (approximate):
 - 1) 135 feet in width
 - 2) 30 feet in depth
- d. Per the applicant, the gasoline canopy materials will remain the same as the previous approved plan. Materials: stick-on stone veneer will be installed on all pillars to match the facade of the revised building

3) Landscaping

- a. Trees: sixteen (16) total.
 - One (1) Snowdrift Crabapple, located on the north portion of the site
 - Japanese Threadleaf Maple: one (1)
 - Fourteen (14) Green Giant Arborvitae, located along the western property line and serving as a buffer from the adjacent residential zoning and uses
- b. Bushes: seventy-one (71) total.
 - Dwarf Japanese Garden Juniper: thirty-three (33)
 - Grey Owl Juniper: twenty-two (22)
 - Gold Lace Juniper: fourteen (14)
 - Green Mountain Boxwood: two (2)
- c. Perennials: eighty-seven (87) total.
 - Korean Feather Reed Grass: twenty-six (26)
 - Goldflame Spirea: thirty-seven (37)
 - Karley Rose Fountain Grass: seven (7)
 - Heavy Metal Switch Grass: eight (8)
 - Adiago Maiden Grass: nine (9)

4) Access:

- a. Two (2) eighty foot (80') wide aprons would provide ingress/egress. One at the northern portion of the site to access Central Avenue, and one at the southern end of the site to access Knightsbridge Drive
- b. A right-in, right-out drive would be provided for access to Central, near the intersection of Knightsbridge and Central
- c. The site will also be accessible through a rededicated Short Street Alley at the northern rear of the property



- 5) Dumpster / Refuse Enclosure
 - a. Two (2) dumpsters located on the northwest corner of the parcel
 - b. Dumpsters to be enclosed with brick to match proposed buildings

- 6) Parking & Drive-Thru
 - a. Twenty-three (23) parking spaces proposed (twenty-one (21) standard spaces & two (2) ADA parking spaces)
 - o Fifteen (15) spaces would be located in front of the proposed building
 - o Eight (8) spaces would be located at the north end of the site
 - b. A twelve foot (12') wide drive-thru lane would wrap around the rear of the building beginning from the northern part of the building.
 - o One (1) drive-thru window is proposed at the southern elevation of the building

- 7) Drainage:
 - a. A detention basin will be located at the southeast corner of the property, at the corner of Central Avenue and Knightsbridge Drive

Planning Commission Recommendation:

This report was written before the July 2, 2020 Planning Commission Meeting. Staff has recommended approval of the Conditional Use Certificate with the following recommendation with seventeen (17) conditions of approval as noted in 'Exhibit E – Recommended Conditions' (attachment):

Planning Staff recommends that Planning Commission provide a recommendation to City Council to approve the Conditional Use for the Gas Station with a Drive-Thru as proposed with the following additional conditions. Please note that the recommended conditions of approval have not been finalized, and may be subject to change in the review process. Any updates will be provided for the department Staff Report to Council.

Conditions of Approval:

1. The project shall be compliant with the Commercial Design Standards set forth in Section 1111.00 of the City of Hamilton Zoning Ordinance, including:
 - a. The applicant will provide a landscape plan from a Landscape Architect. All proposed landscaping items, including the width of the landscaping beds, shall be reviewed and approved by the City of Hamilton Municipal Arborist. All proposed landscaping item sizes to conform to the minimum size requirements. (Deciduous trees minimum of two and one half inches (2 1/2") caliper, evergreen trees minimum of six (6') feet in height,



shrubs/bushes minimum of twelve inches (12")). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.

- b. The gasoline station canopy shall comply with the Commercial Design Standards.
 - c. All HVAC equipment will be screened so as not to be visible.
 - d. The refuse enclosure (trash enclosure) shall have materials matching the exterior finish of the buildings, with a gate of solid wood with sufficient screening to reduce visibility into the refuse enclosure.
 - e. The proposed ground signage shall be a monument sign with a stone or masonry base, and shall comply with Section 1138.00, Signage provisions and Section 1111.00, Commercial Design Standards of the Hamilton Zoning Ordinance.
2. A landscaped strip shall be added along the lot frontage on both Knightsbridge Drive and Central Avenue, located behind the sidewalk. The landscaped strip shall be no less than three (3') feet in width but should be ten (10') feet wide where feasible. All landscaping identified in the site plan along the street frontage will be placed in this landscaped area instead of in the curb lawn. The final landscape plan, completed by a Landscape Architect, will be approved by the Department of Engineering, the Department of Planning, and the Municipal Arborist.
 3. The final location of the Drive Thru will be approved by the Department of Engineering. Any parking conflict identified by the Department of Engineering will be remedied by the applicant.
 4. There shall be no window signs or other obstructions in proposed building, for all three (3) tenant spaces. All windows will have an opacity maximum of 35%.
 5. That a six (6) foot privacy fence located at all property lines abutting residential property shall be maintained at all times. The fence shall be made of a high quality, durable material and shall have brick accents that match the buildings at Central and Knightsbridge. A final design will be approved by the Department of Planning through the permitting process.
 6. There shall be an eight (8) foot side yard landscaped buffer area where the project abuts a residential use, per the B-2 (Community Business) zoning regulations. The fence and landscaped buffer area shall together minimize the noise heard at the adjacent residential sites caused from activity at the site. The applicant will work with the City of Hamilton and the Southeast Civic Association on a final design.
 7. Lighting plan will be provided through the permitting process and will be approved by the Planning staff. No light glare from the gasoline canopy or any other light source on the property shall extend beyond the property lines.
 8. The parking plan shall adhere to the Hamilton Zoning Ordinance parking regulations and shall be approved by the Department of Engineering.
 9. Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.



10. All landscaping, site improvements, exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the relevant City of Hamilton codes.
11. No automobile repair, sales, or storage is permitted on the property, only dispensing of fuel and fluids for operable motor vehicles.
12. No exterior storage or exterior sales of merchandise or material on the site in question. This shall be indicated on the final construction plans for the project.
13. Any future signage (permanent or temporary) on the site shall comply with the regulations of the City of Hamilton Zoning Ordinance.
14. That a lot combination of Parcels P6421023000018 through P6421023000029 shall be completed prior to any new construction work being done on the site in question.
15. The hours of operation of the Convenience Store and Gasoline Station shall be no earlier or later than:
 - a. 5:00 am to 11:00 pm Monday through Thursday
 - b. 5:00 am to midnight on Friday and Saturday
 - c. 7:00 am to 10:00 pm on Sunday
16. The City of Hamilton shall track public safety calls and nuisance complaints associated with the applicant and the property. If issues are identified, the property owners and business operators will work with the City to rectify issues. If issues are not resolved in a timely manner, Conditional Uses may be revoked.
17. The gasoline station operator will ensure the site and adjacent alley and sidewalks are clear of debris every morning.

Staff Basis / Comments

1. This is an amended plan that incorporates the Planning Commission's conditions of approval will meet the City of Hamilton Zoning Ordinance requirements for an Automotive Service and Minor Repair use (gas station) and the commercial design standards.
2. The intensity and density of the proposed specific use is compatible with the surrounding commercial areas along Central Avenue, which contain several commercial and retail uses.
3. The scope and scale of the traffic impact at the site in question for the proposed use would be appropriate for this area of Central Avenue.
4. The proposed uses are in conformance with the principles of Plan Hamilton, which identifies this site as Urban Mixed Use and Traditional Neighborhood.
5. The proposed uses will not adversely impact public health and safety, through the provision of:
 - a. Adequate infrastructure and design to accommodate the proposed gas station, canopy, drive-thrus, as well as traffic;



- b. Quality building design and materials; and
 - c. Proper screening and setbacks from residential uses.
6. The proposed use and development will comply with regulations set forth by applicable City departments.
 7. The applicant met with members of the Southeast Civic Association (SECA), an organization of residents from the Riverview neighborhood in which this project is situated in, to discuss the project before proceeding with the design of the project.

Planning Staff estimates that the Commission will likely recommend that City Council approve the Conditional Use Certificate, allowing the operation of a gas station and drive-thrus with the additional conditions of approval. In the event of any changes to the conditions of approval from the Planning Commission, the Staff Report to City Council will be revised to reflect as such.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation.

Sincerely,

Caucus Report Prepared By:

Joshua A. Smith
City Manager

Ed Wilson, AICP
Associate Planner II

Choose Strategic Goal(s)

- I** *Generate 125mm in new private investment*
- J** *Increase gross wages paid by Hamilton Employers by \$100mm*
- P** *Exceed total county growth rate median home sale prices*
- R** *Generate \$40mm in investment for recreational amenities*
- E** *Engage 50,000 participants annually in special events, arts and recreation activities*
- O** *General Operations/ Government Business*

Attachments:

- 1) Exhibit A – Location Map
- 2) Exhibit B – Application and Project Details
- 3) Exhibit C – Zoning Map
- 4) Exhibit D – Photos of Applicant’s Other Gas Stations
- 5) Exhibit E – Conditions for Approval



1157 Central Avenue, CU, Gas Station, drive-thru -
Exhibit A - Location Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri Community Maps, 2014



Areas

Override
Site Address Points

1157 Central Avenue Location Map

City of Hamilton
BUTLER COUNTY OHIO



1157 Central Avenue, CU, Gas Station, drive-thru
Exhibit B - Application and Project Details

PLANNING
CES DIVISION

INTER-DEPARTMENTAL PLAN REVIEW RECORD

Location : **1157 CENTRAL AVE**

Date : **06/12/2020**

Name of Project : **MATANDY REALTY**

Permit Type : **PLANNING - CONDITIONAL USE**

Application # : **A201995**

Project Description: **GASOLINE CONVENIENCE STORE WITH FOOD**

Approval Date : **06/12/2020**

Approval # : **A202000**

Review # : **1**

Applicant : **HAMILTON INVESTMENTS LLC**

Phone : **(513) 367-9900**

Fax :

email :

Owner : **COMBS, LARRY & ROSE**

Phone :

Fax :

email :

Please review the attached plans and return to Construction Services as soon a possible.

REMARKS	Please submit your comments electronically on the Approval Screen in Govern.
---------	--

This routing is for Approval # A202000 Review # 1

HEALTH

PUBLIC WORKS

FIRE

ENVIR. SERVICES

BUILDING

ELECTRIC

GAS / WATER

ZONING

A201995



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

City of Hamilton
Date: 6/12/2020 Office: CNST
Acct: 271907 Cashier: [unclear]
Name: [unclear]
Receipt # 01802954 6/12/2020 4:14 PM
Payment Total: \$200.00
CONDITIONAL USE APPLICATION
Credit Card Tendered: \$200.00

Note: Staff correspondence pertaining to updates on your application, including reports and notifications, is conducted via email. Please be sure to include an email address for each of the contacts below. Staff is also able to notify additional individuals by providing their name and email address on a separate page titled "Additional Contacts" which should be included within your application.

PROPERTY ADDRESS: The Northeast Corner of Central and Knightsbridge Avenues 1157 Central

Property Owner: Matandy Realty, LTD Frank C. Pfirman Jr.

Owner's Mailing Address: 1200 Central Avenue

Email Address: _____ Phone Number: 513 383-5328

Applicant's Name (if different from owner): Hamilton Investments LLC

Applicant's Mailing Address: 9171 Dry fork Rd. Harrison, Ohio 45030

Email Address: sturman@triumphenergy.com Phone Number: 513 367-9900

Architect / Engineer: Dennis R. Beatty Architect AIA

Mailing Address: 1900 First Avenue Middletown, Ohio 45044

Email Address: Architect@cinci.PR.com Phone Number: 513 424-8383

Previous Legal Use of Property: Residential

Date Previous Use Discontinued: 2018

Proposed New Use of Property: Gasoline Convenience Store with food

PLEASE NOTE:
Incomplete applications or applications missing the required materials necessary to conduct a review will not be reviewed by staff nor will they be placed on the agenda to be heard by the Planning Commission until all required information has been submitted.

CERTIFICATION:
I certify that all of the information contained in this Application is complete, true, and accurate.

Applicant's Signature: *William J. Turn*

Property Owner's Signature: _____

For questions or more information, please contact Planning at 513 785-7350 | www.hamilton-city.org

0010006

Credit Card Tendered: \$200.00

Payment Total: \$200.00

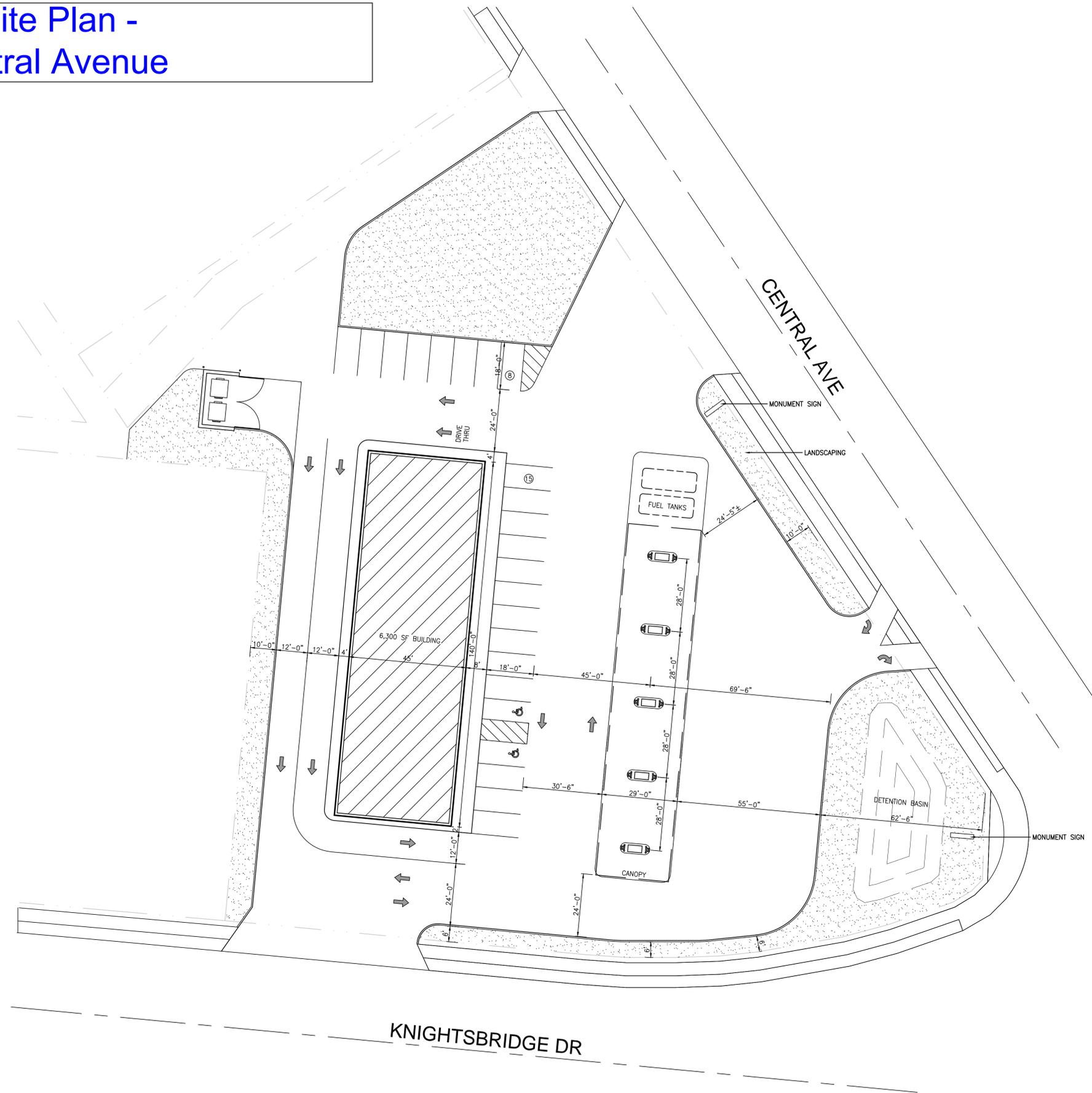
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Name: [unclear]

Acct: 271907

City of Hamilton

Revised Site Plan - 1157 Central Avenue



PROPOSED SITE PLAN
SCALE 1" = 20'-0"

pda
professional design associates
architecture • engineering • planning
3627 west fork road
cincinnati, oh 45247
p. 513-661-2565
www.pda-ae.com

project
NEW GAS STATION & RETAIL DEVELOPMENT

CENTRAL AVE. & KNIGHTSBRIDGE DR.
HAMILTON, OH 45011

client
TRIUMPH ENERGY

9171 DRY FORK RD.
HARRISON, OH 45030

seal

revisions

drawn / approved
O.R.M. / J.T.R.

date
10 JUNE 2020

file
20-126

sheet
Z-1
of 2

project

**NEW GAS
STATION &
RETAIL BUILDING**

CENTRAL AVE. &
KNIGHTSBRIDGE DR.
HAMILTON, OH
45011

client

**TRIUMPH
ENERGY**

9171
DRY FORK RD.
HARRISON, OH
45030

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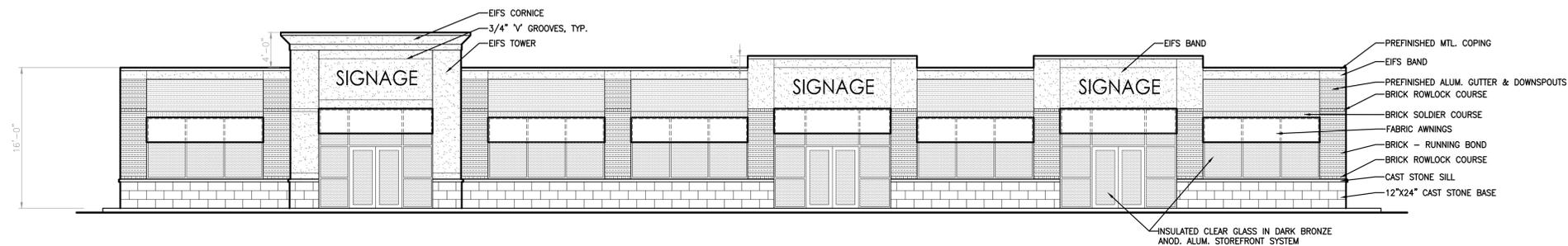
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20-126

sheet

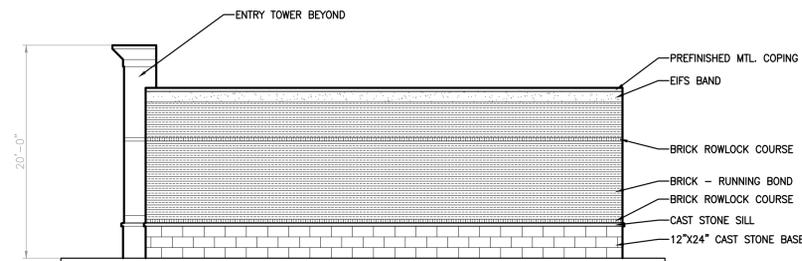
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of 2



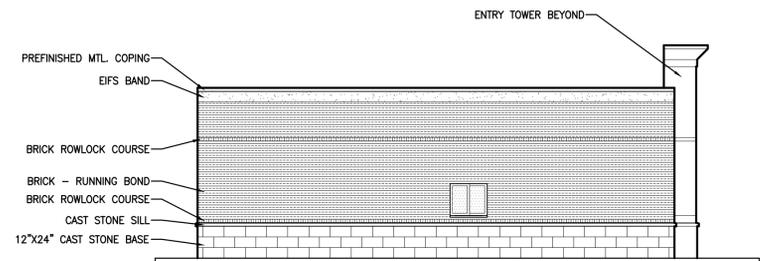
PROPOSED EAST ELEVATION

SCALE 1/8" = 1'-0"



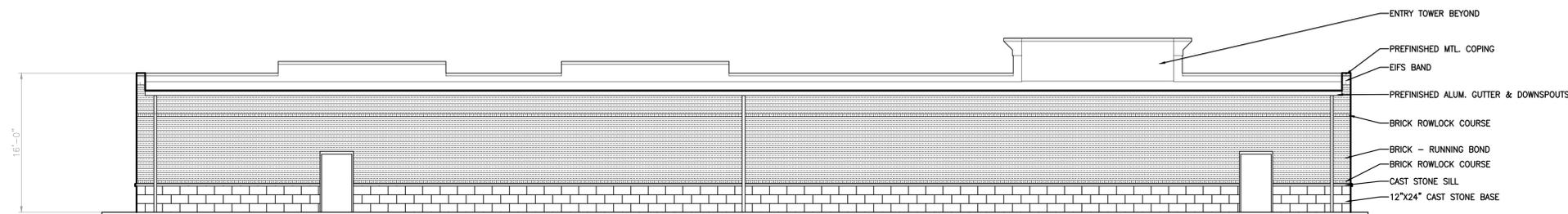
PROPOSED NORTH ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

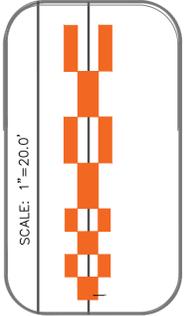
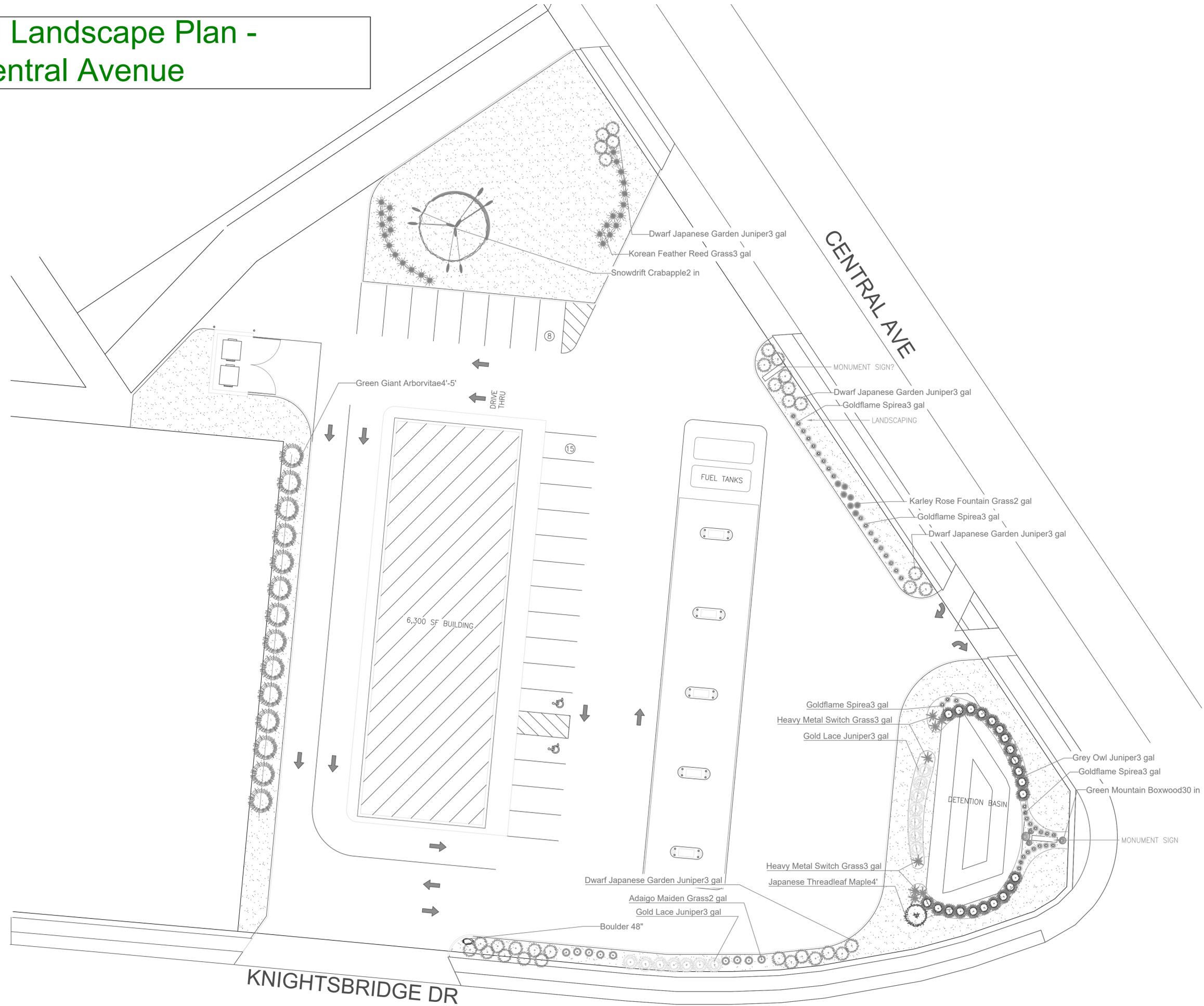
SCALE 1/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE 1/8" = 1'-0"

Revised Landscape Plan - 1157 Central Avenue



GF Gayle A. Frazer
Registered Landscape Architect

PHONE: (513)807-8998
WWW.GAYLEFRAZER.COM
E-MAIL: GAF@GAFUSE.NET

7577 BRIDGEPOINT PASS
CINCINNATI, OHIO, 45248

**NEW GAS STATION AND RETAIL
CENTRAL AVE & KNIGHTSBRIDGE DR
HAMILTON OHIO**



LANDSCAPE PLAN

1" = 20.0'

6.12.20

SHEET#	REVISIONS:	DATE

L1

SPECIFICATIONS

GENERAL PLANTING NOTES

- *CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
- *PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- *FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1 WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHARED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- *PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- *IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- *LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- *LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- *TOPSOIL SHALL BE ASTM D 5928, pH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
- *COMPOST SHALL BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- *FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.

PREPARATION AND PLANTING

- *LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
- *PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- *PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- *LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- *TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

- *ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS :
 - LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - EDGE BEDS 3 OR 4" DEEP (SEE DETAIL).

ADDITIONAL PREPARATION FOR PERENNIAL BEDS:
 PROVIDE A TOTAL OF 6" OF COMPOST AND 8" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE, DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS, 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.

*ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT).

*AND TRICHODERMA ABSORBENT GEL PER MANUFACTURERS SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

Type of Plants Normal Planting Dates
 Non-Container Grown, Deciduous October 1 to April 1
 Non-Container Grown, Other October 1 to May 1
 Non-Container Grown, Other October 1 to May 1
 Container Grown, All Year-Round, if suitable precautions are taken to protect the stock from extremes of moisture and temperature, if there is a doubt, obtain a variance or a performance bond.

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

PLANT KEY		06.12.2020
QNT	SIZE COMMON	LATIN
1	4' Japanese Threadleaf Maple	Acer palmatum var. dissectum
1	2 in Snowdrift Crabapple	Malus 'Snowdrift'
37	3 gal Goldflame Spirea	Spiraea x bumalda 'Goldflame'
1	36 in Green Mountain Boxwood	Buxus x 'Green Mountain'
1	30 in Green Mountain Boxwood	Buxus x 'Green Mountain'
2	24 in Green Mountain Boxwood	Buxus x 'Green Mountain'
14	3 gal Gold Lace Juniper	Juniperus chinensis 'Gold Lace'
33	3 gal Dwarf Japanese Garden Juniper	Juniperus procumbens Nana
22	3 gal Grey Owl Juniper	Juniperus virginiana 'Grey Owl'
14	4'-5' Green Giant Arborvitae	Thuja plicata 'Green Giant'
26	3 gal Korean Feather Reed Grass	Calamagrostis brachytricha
9	2 gal Adaigo Maiden Grass	Miscanthus sinensis 'Adaigo'
8	3 gal Heavy Metal Switch Grass	Panicum virgatum 'Heavy Metal'
7	2 gal Karley Rose Fountain Grass	Pennisetum orientale 'Karley Rose'
1	48" Boulder 48"	-

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OH OR KY DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS". IN THE EVENT OF A CONFLICT THE MORE STRINGENT STANDARD SHALL APPLY.

- *NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- *NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
- *ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW-RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- *IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- *ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- *IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - KEEP ADJACENT AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR DURATION OF PROJECT.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE :
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- *WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- *PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- *TILL AREA TO BE SEED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/ AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

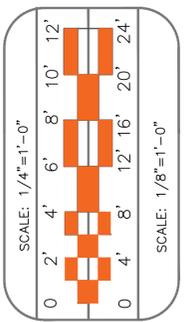
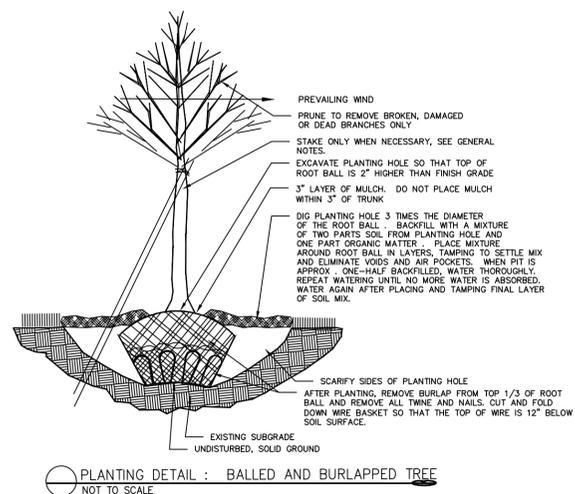
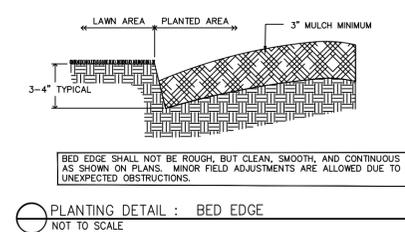
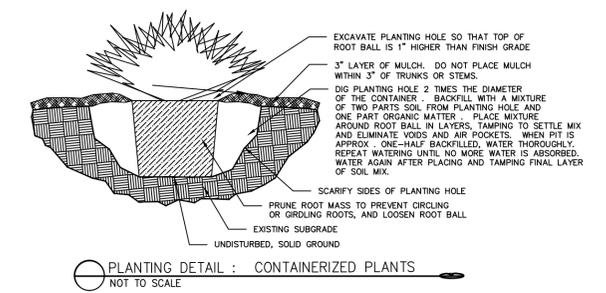
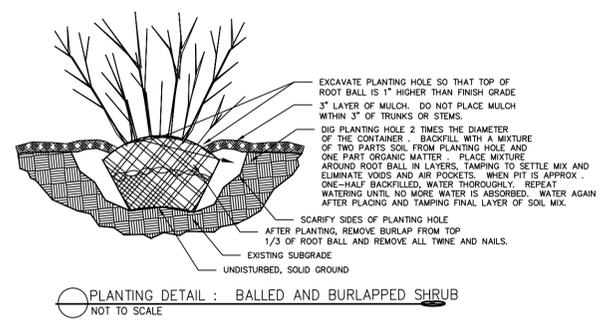
MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3" DEPTH

- PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS
- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
 - DYED BROWN MULCH DOUBLE SHREDDED
 - DOUBLE SHREDDED HARDWOOD BLEND
 - CYPRESS MULCH
 - MINI PINE NUGGET
 - MINI PINE FINES
 - PINE STRAW
 - PREMIUM WOOD CHIP
 - WOOD CHIP

PROVIDE CLIENT WITH QNT MULCH PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDED _____ CUBIC YARDS



Gayle A. Frazer
 Registered Landscape Architect
 PHONE: (613)607-8098
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7577 BRIDGEPOINT PASS
 CINCINNATI, OHIO 45248

**NEW GAS STATION AND RETAIL
 CENTRAL AVE & KNIGHTSBRIDGE DR
 HAMILTON OHIO**



SPECS

SCALE: AT 22X34
 1/4"=1'-0"
 SCALE: AT 11X17
 1/8"=1'-0"

6.12.20

SHEET# REVISIONS: DATE

L2

1157 Central Avenue
Applicant provided renderings of the revised proposed building





SIGNAGE

signage

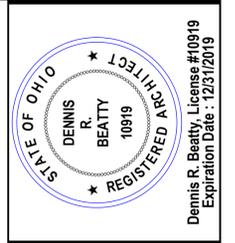
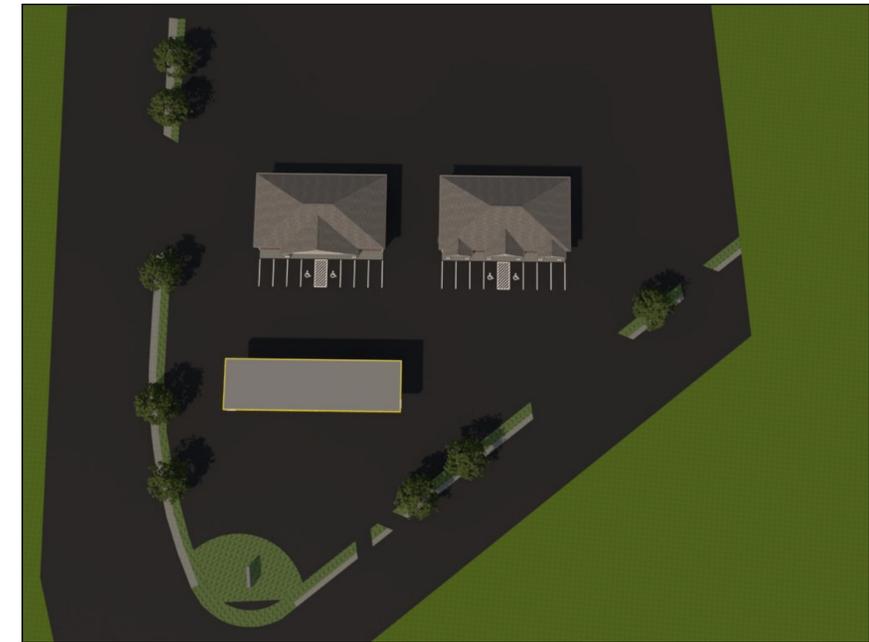
signage



1157 Central Avenue -
Revised Lane Striping for Central Avenue and Knightsbridge Drive

4-10-19
SW

Previously Approved Drawings - showing Gas Canopy & Monument Sign (November 2019)
 Provided for reference



Revisions:

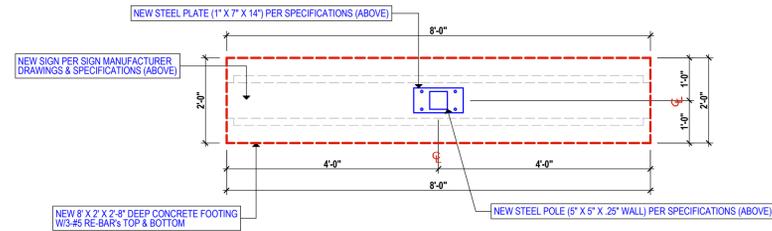
Dennis R. Beatty
 architect
 1900 FIRST AVENUE
 MIDDLETOWN, OHIO 45044
 EMAIL: ARCHITECT@CINCLRR.COM
 TEL: 513.424.8383
 Residential • Commercial • Industrial

NEW BUILDINGS FOR:
MR. SAMMY HILAL
 KNIGHTSBURG DRIVE
 HAMILTON, OHIO

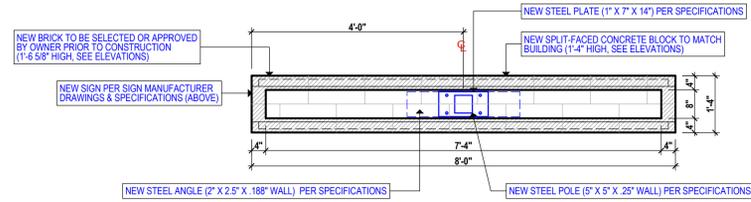
Canopy Plan

Date: 9.30.2019
 Scale: AS NOTED
 Drawn: Chad D. Pequignot
 Job: #19118
 Sheet Number: **C-1**
 Total sheet count:

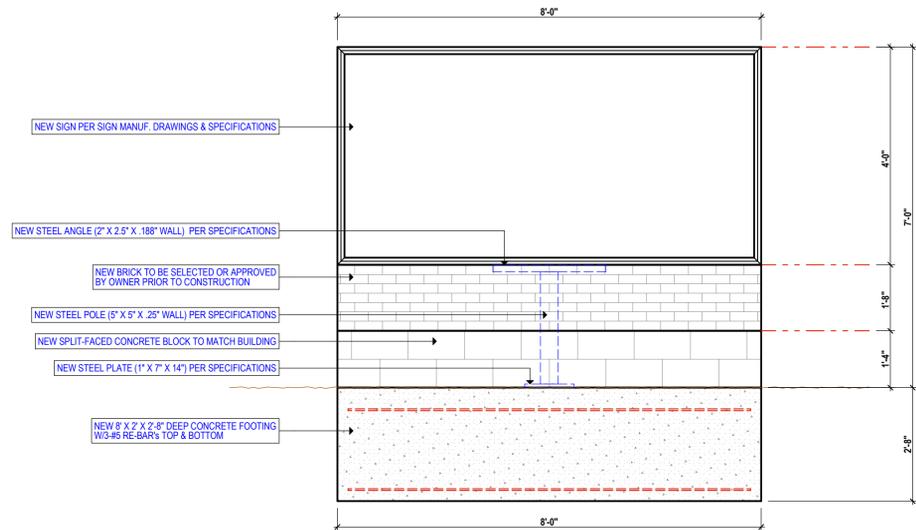
WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE PROJECT MUST REVIEW ALL PLANS & CHECK ALL DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES BEFORE THE START OF CONSTRUCTION OR THE ORDERING OF ANY MATERIALS.



Foundation Plan
SCALE: 1/2" = 1'-0"



Floor Plan
SCALE: 1/2" = 1'-0"



Elevation
SCALE: 1/2" = 1'-0"

A Limited Variation

Monument signs are utilized only where regulatory requirements so restrict signage that they preclude the use of the standard Prime Sign. Because of this hardship, the configurations of signs in a monument format may vary from some RVI Evolution and branding requirements.

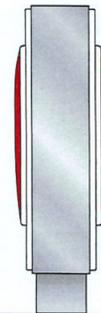
Where a monument sign is used, it should be placed perpendicular to the street with the end bearing the Shell Pecten Panel closest to traffic.

Legacy Monument Signs

Legacy monument signs should be updated by installing new RVI Evolution compliant 1X, 2X and 4X sign panels as shown at right. The preference for the price panel is digital LED.

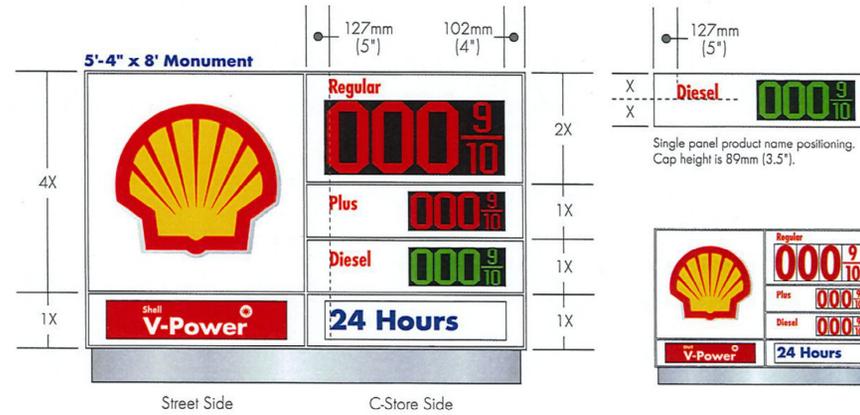
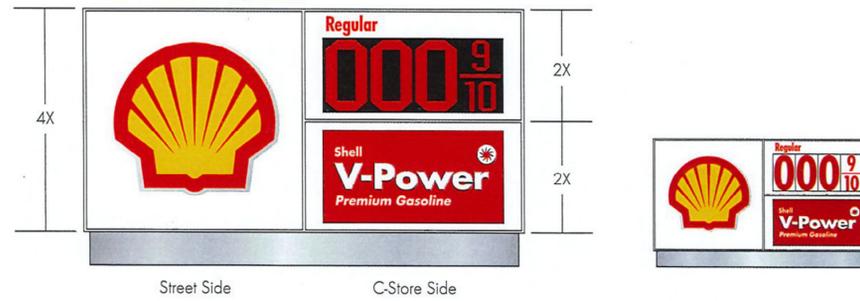
In any case, the Pecten Panel should always be positioned at the end of the sign closest to traffic.

The exterior sides and top of the monument sign cabinet are to be painted Shell Silver.

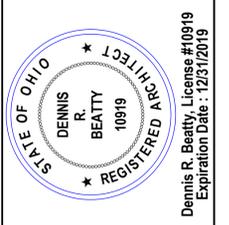
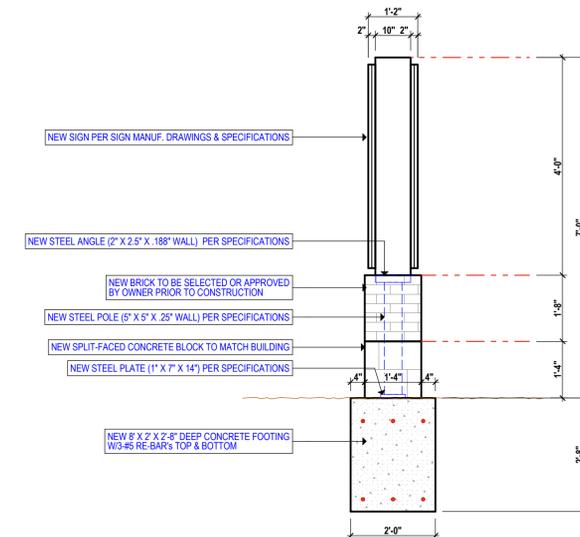


© 2009 Shell Oil Products US: RVI Evolution Design Standards Manual / WS US

4' x 8' or 6' x 12' Monument



Section
SCALE: 1/2" = 1'-0"



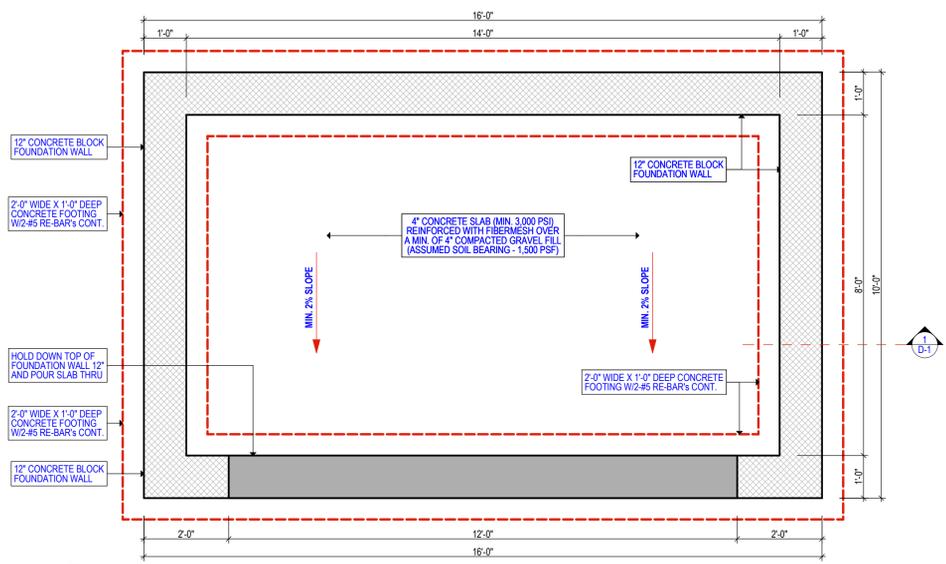
Revisions:

Dennis R. Beatty
architect
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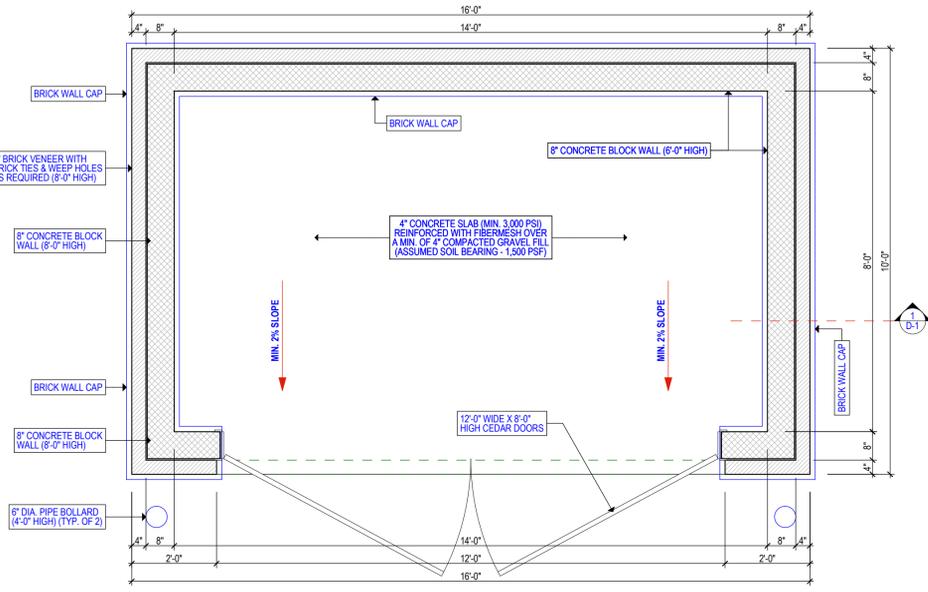
NEW BUILDINGS FOR:
MR. SAMMY HILAL
KNIGHTSBURG DRIVE
HAMILTON, OHIO

Sign Plan
Date: 9.30.2019
Scale: AS NOTED
Drawn: Chad D. Pequinot
Job: #19118
Sheet Number: **S-1**
Total sheet count:

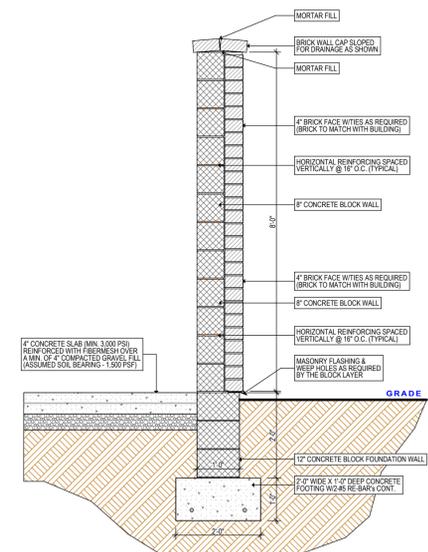
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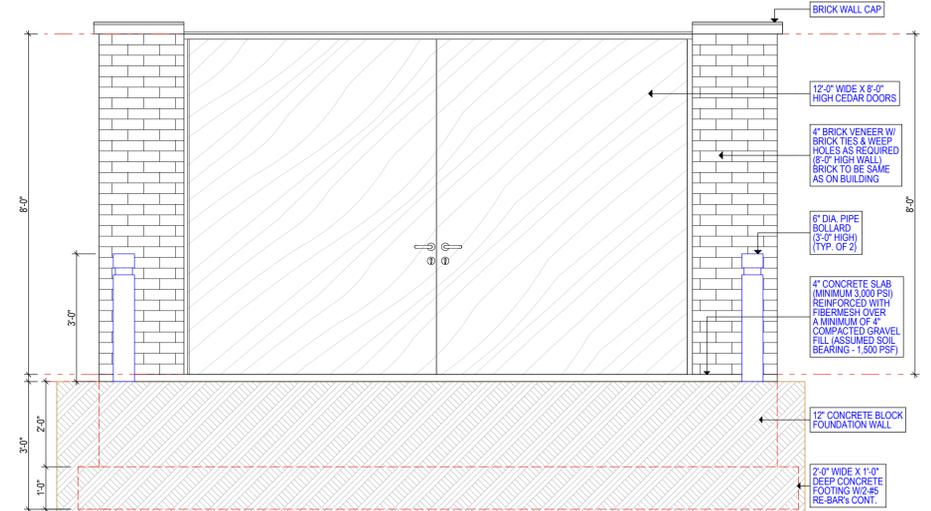
Foundation Plan
SCALE: 1/2" = 1'-0"



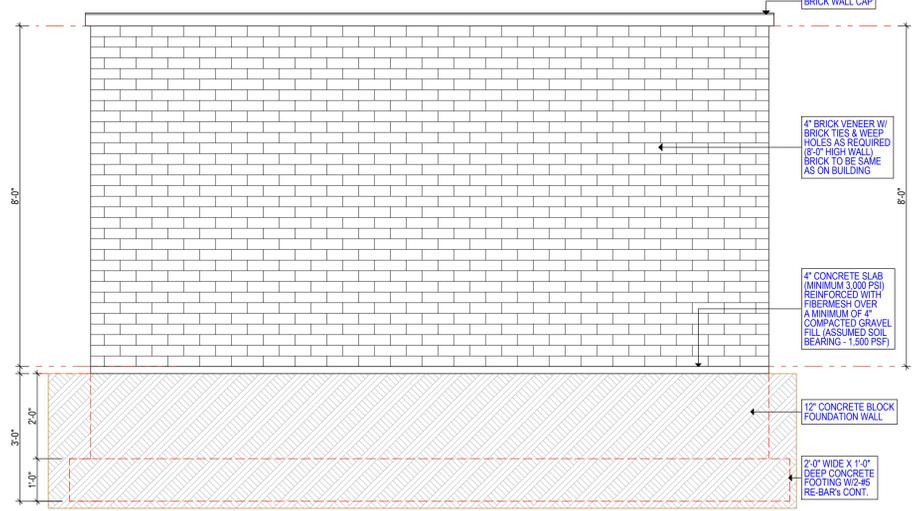
Floor Plan
SCALE: 1/2" = 1'-0"



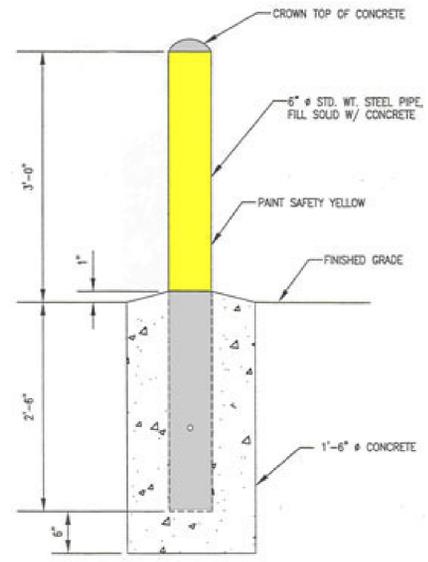
1 Wall Section
SCALE: 1/2" = 1'-0"



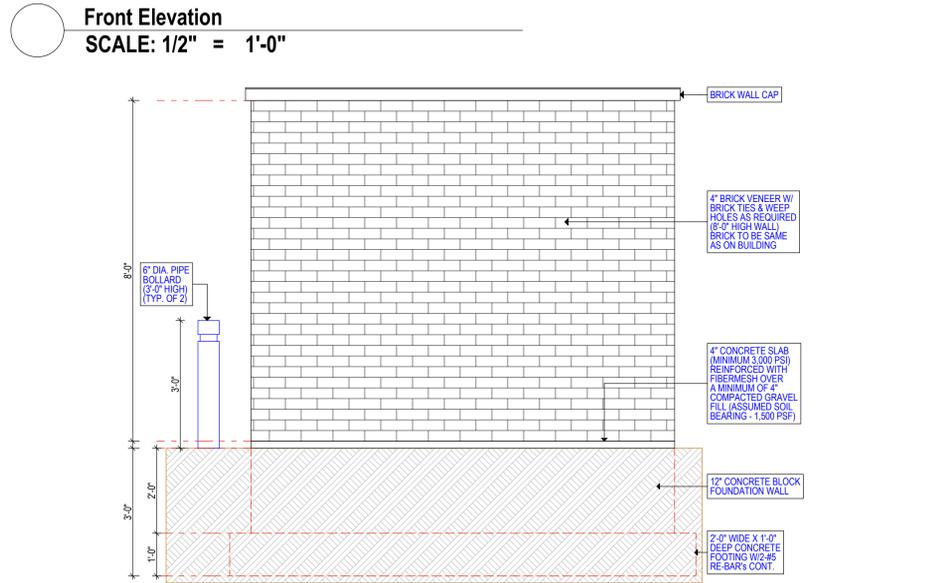
Front Elevation
SCALE: 1/2" = 1'-0"



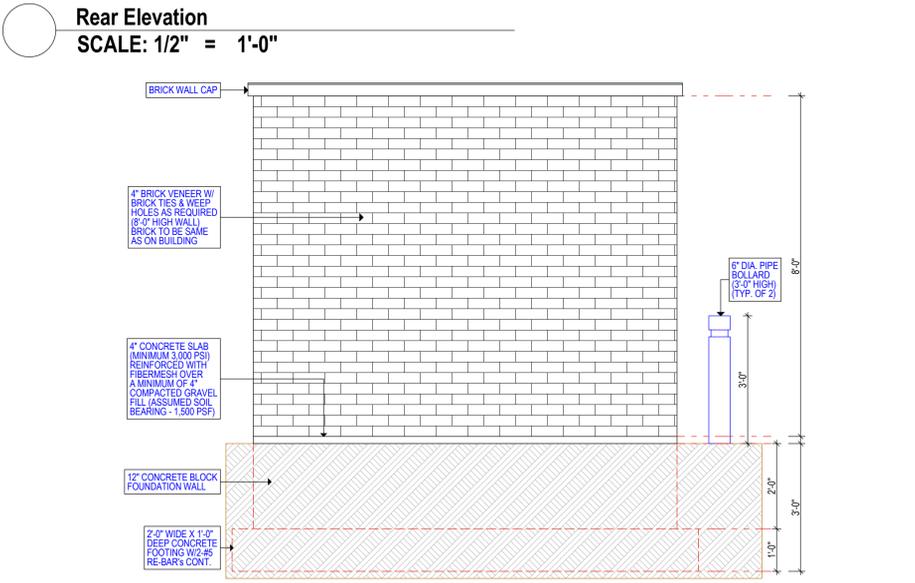
Rear Elevation
SCALE: 1/2" = 1'-0"



Pipe Bollard Detail
NOT TO SCALE

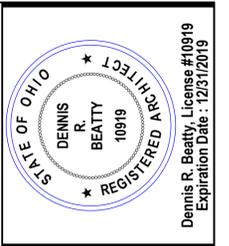


Right Elevation
SCALE: 1/2" = 1'-0"



Left Elevation
SCALE: 1/2" = 1'-0"

WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE CONTRACTOR ON THE PROJECT MUST REVIEW ALL PLANS & CHECK ALL DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES BEFORE THE START OF CONSTRUCTION OR THE ORDERING OF ANY MATERIALS.



Revisions:

Dennis R. Beatty
architect
1900 FIRST AVENUE
MIDDLETOWN, OHIO 45044
EMAIL: ARCHITECT@DINLRR.COM
TEL: 513.424.8383
Residential • Commercial • Industrial



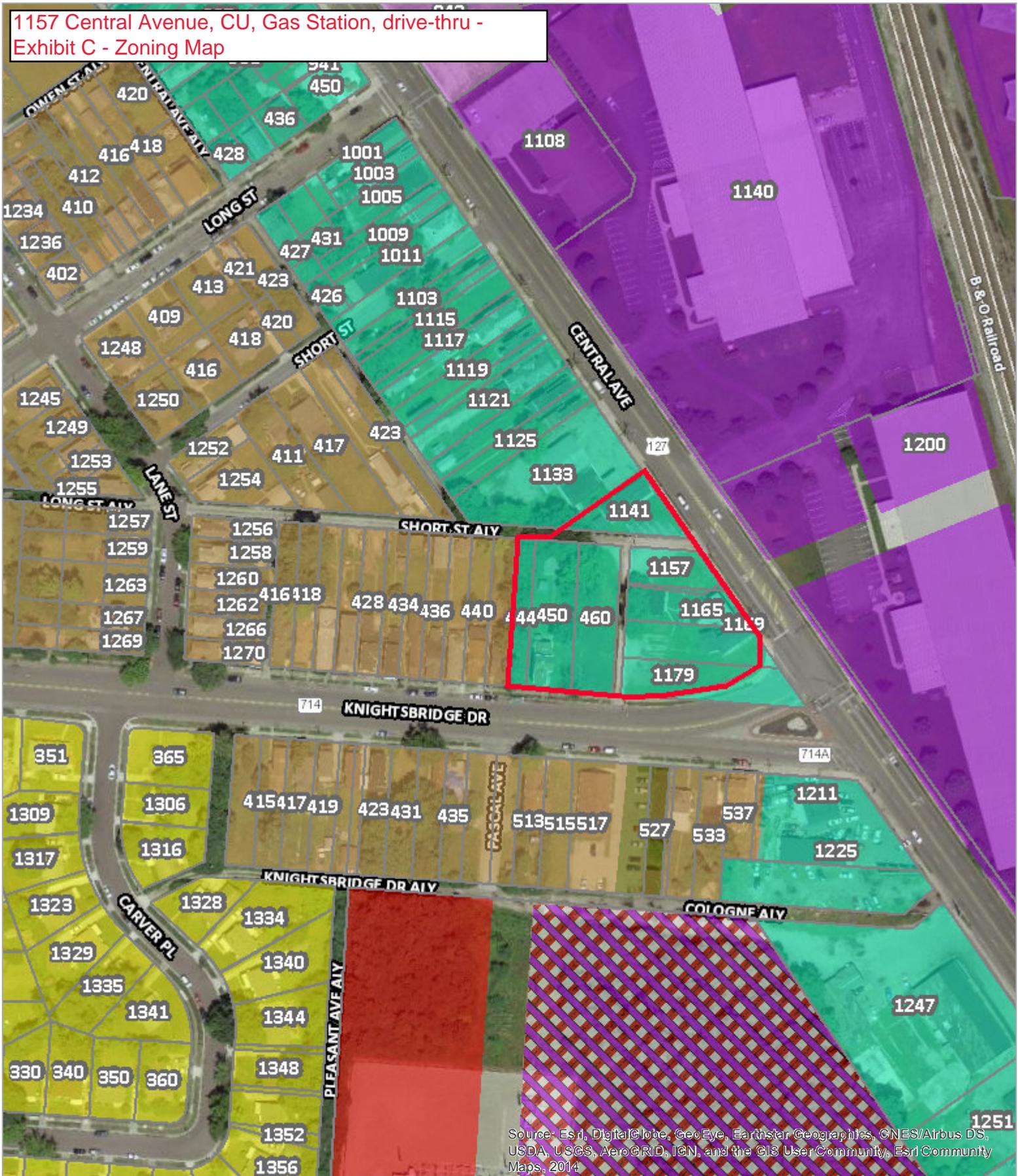
NEW BUILDINGS FOR:
MR. SAMMY HILAL
KNIGHTSBURG DRIVE
HAMILTON, OHIO

Dumpster Plan

Date:	9.30.2019
Scale:	AS NOTED
Drawn:	Chad D. Pequinot
Job:	#19118
Sheet Number:	D-1

Total sheet count:

1157 Central Avenue, CU, Gas Station, drive-thru -
Exhibit C - Zoning Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri Community Maps, 2014



Areas

Override 1

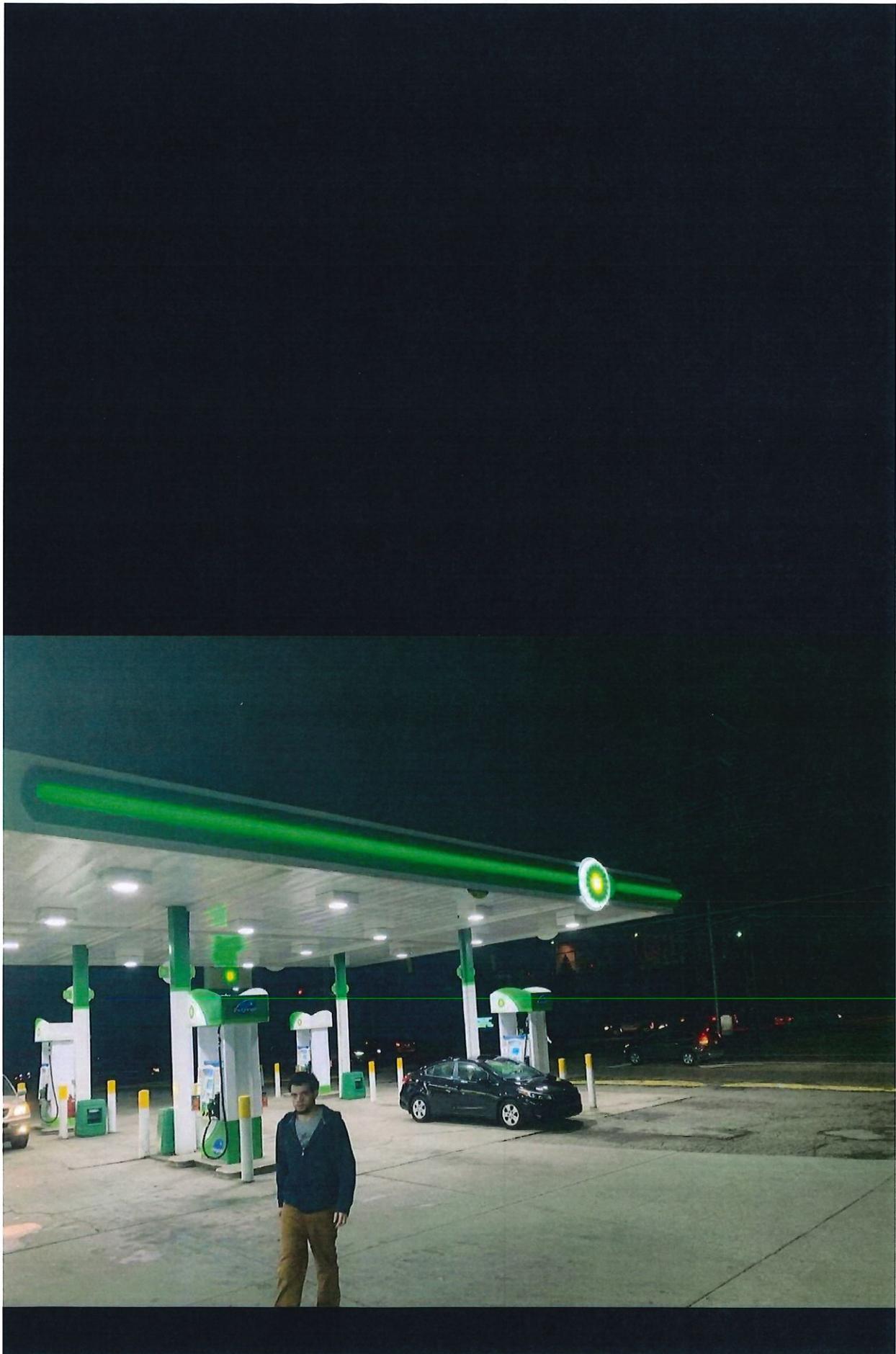
Site Address Points

1157 Central Avenue Zoning Map

City of Hamilton
BUTLER COUNTY OHIO

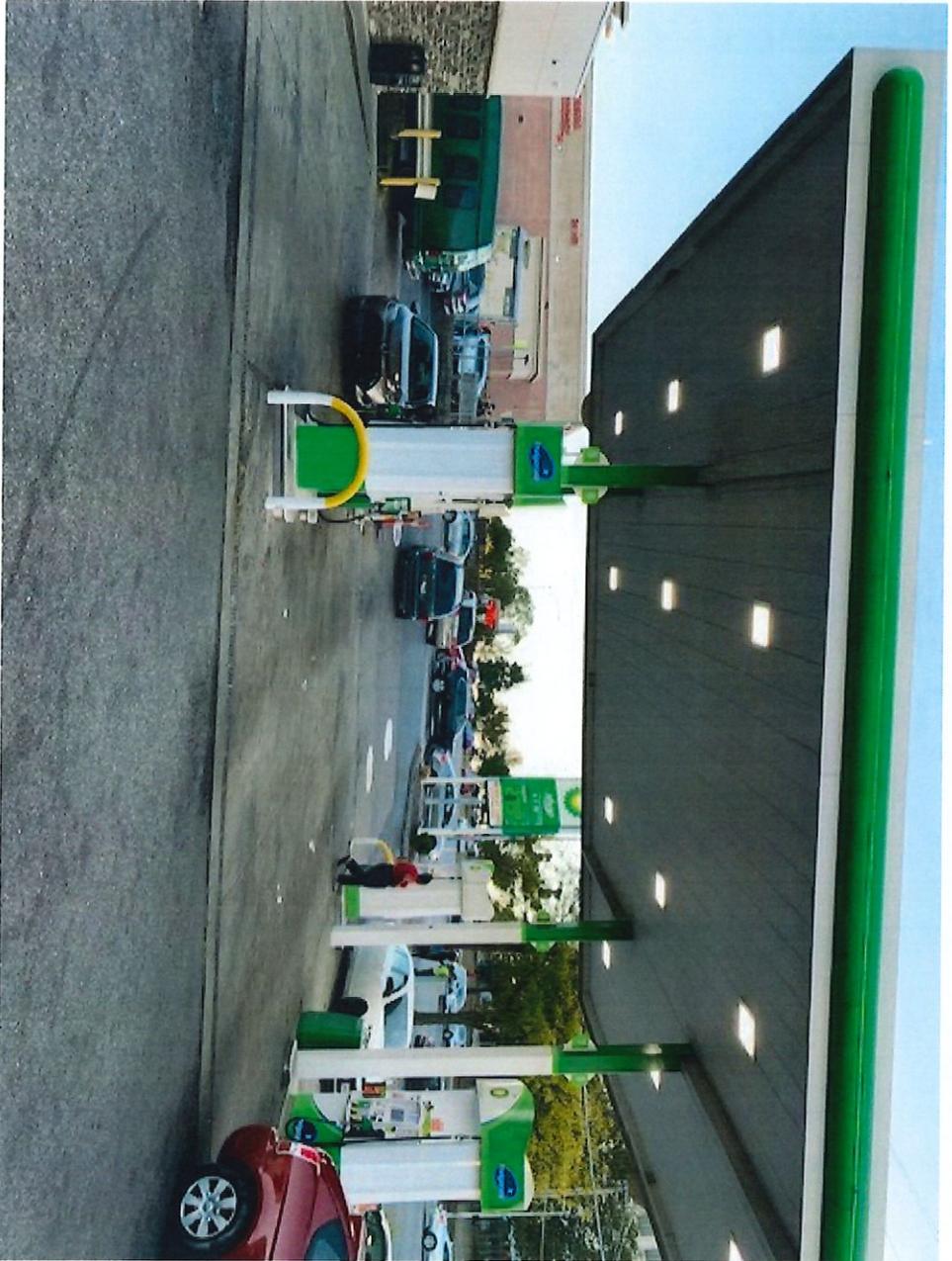


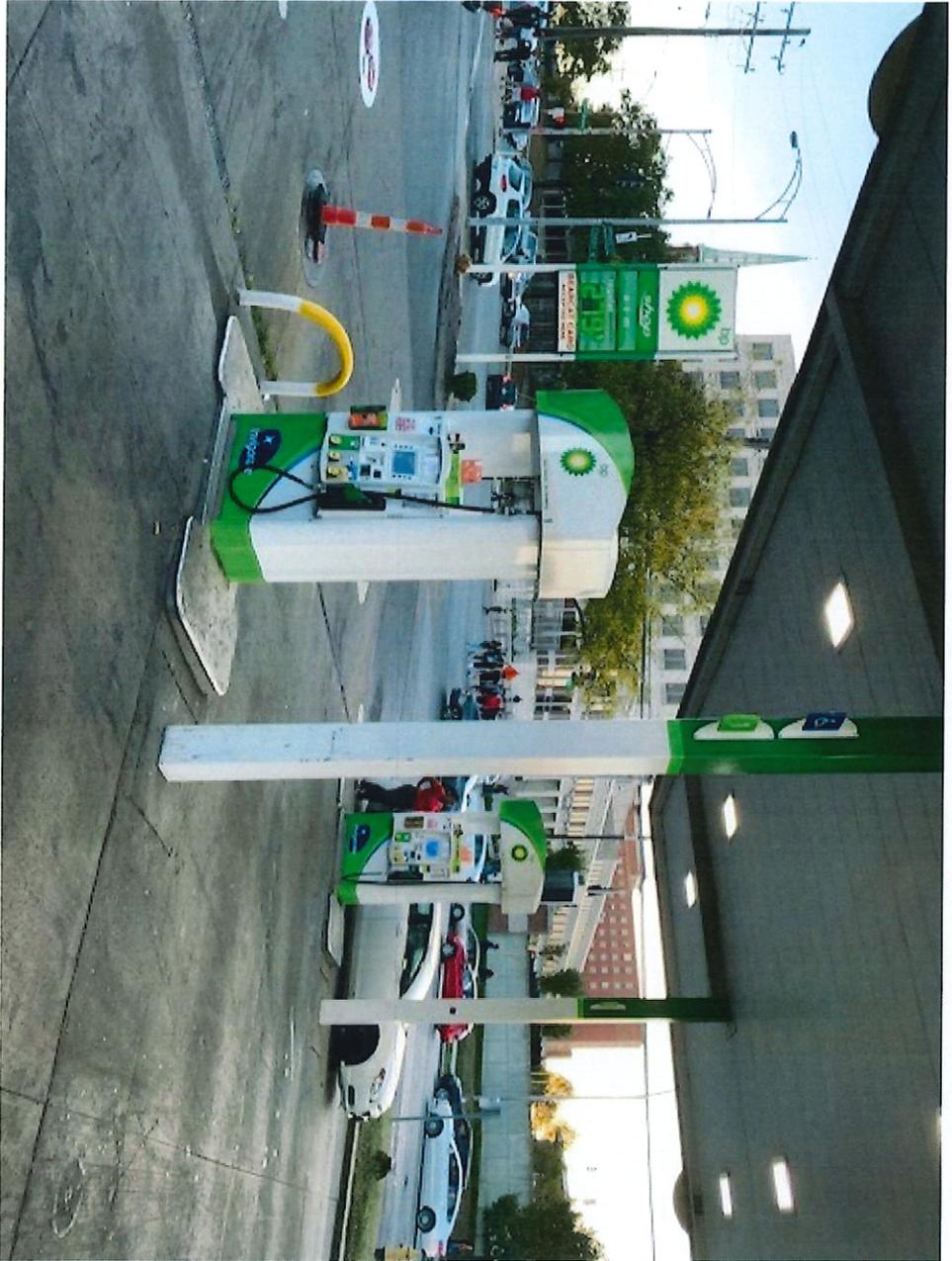
1157 Central Avenue, CU, Gas Station, drive-thru
Exhibit D - Photos of Applicant Convenience Stores



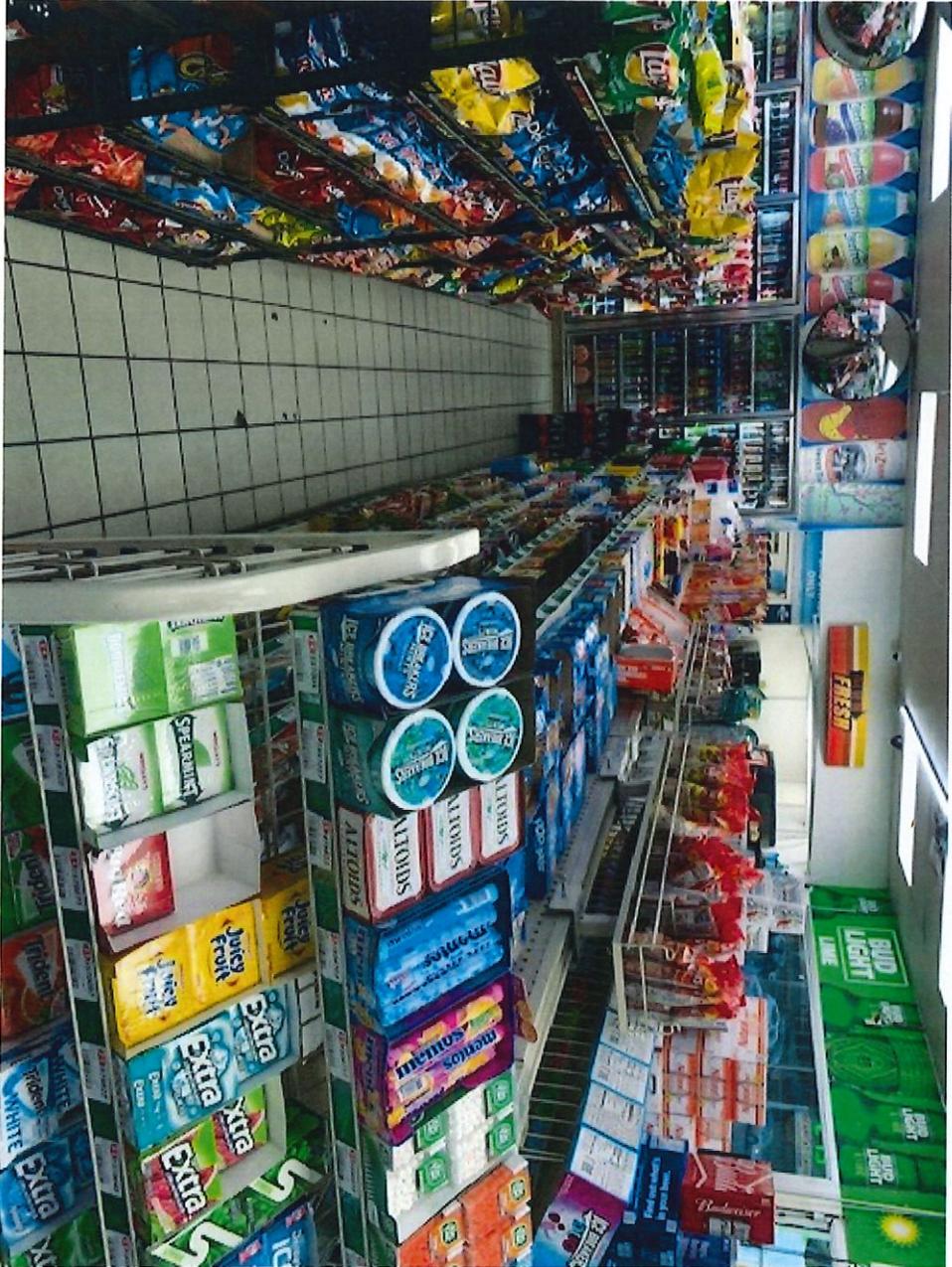




















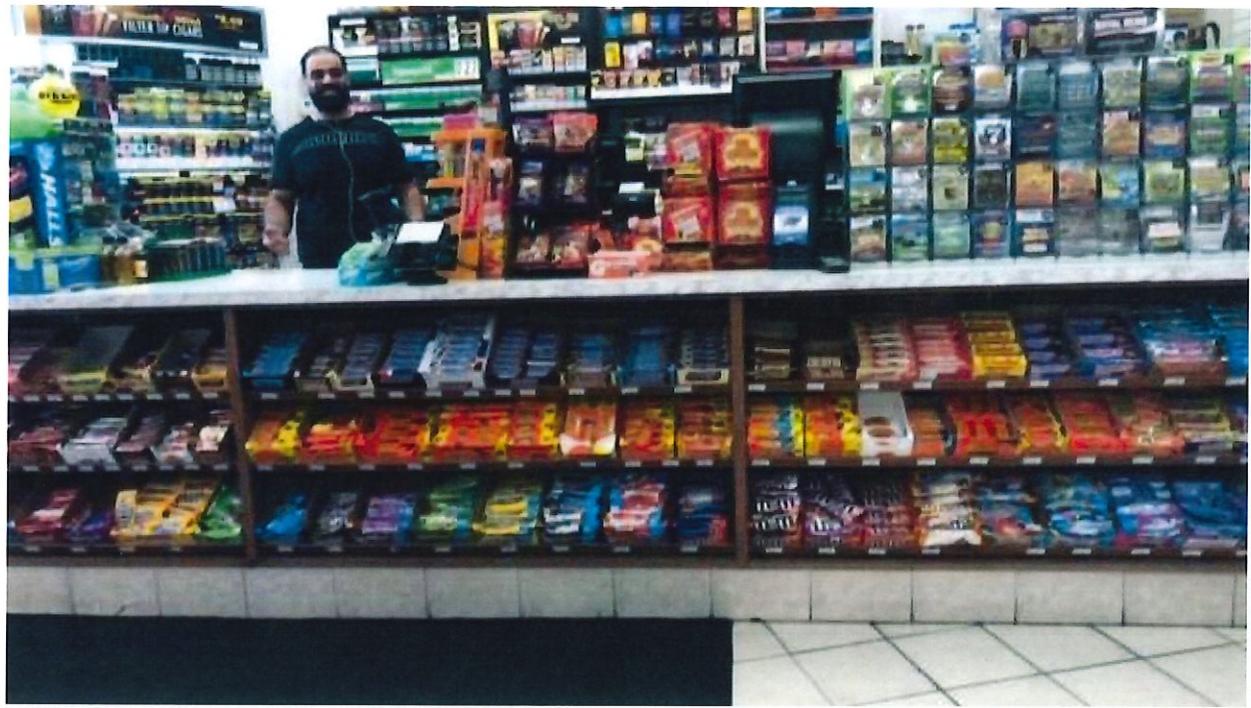
**ORDER
HERE**

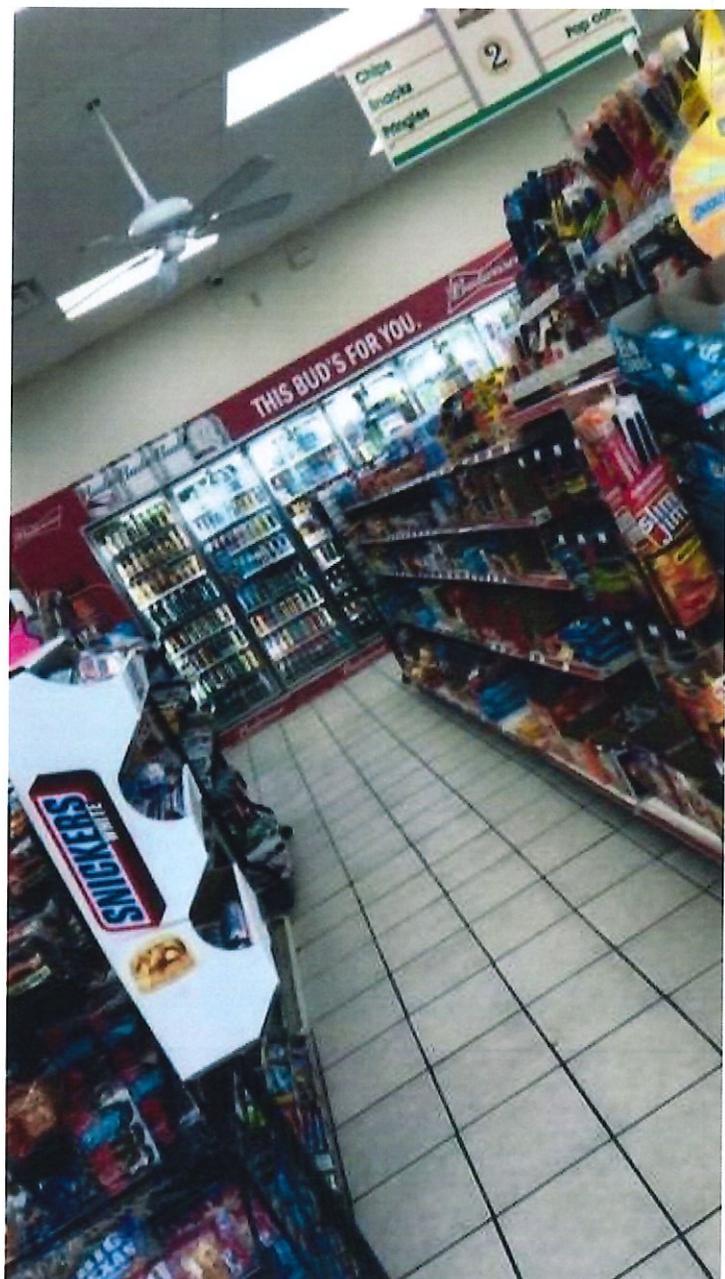
**PICK UP
HERE**

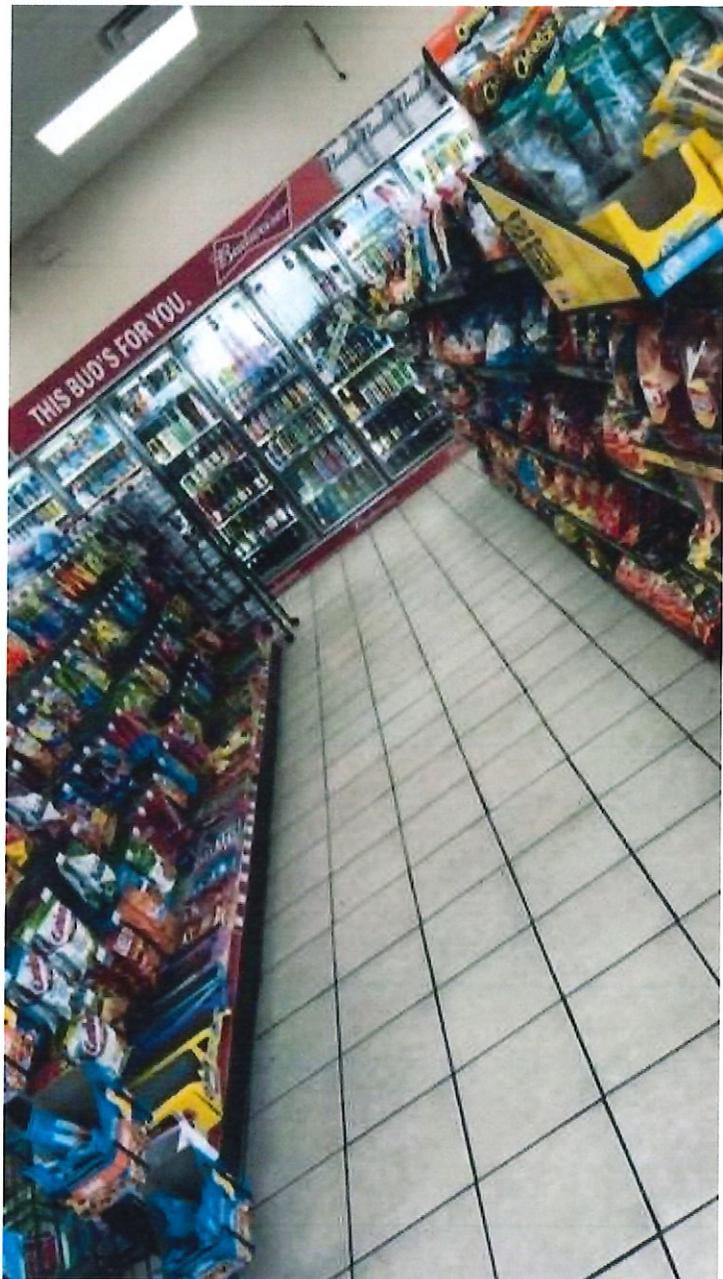
Lil' Chet's
**chicken
to GO!**

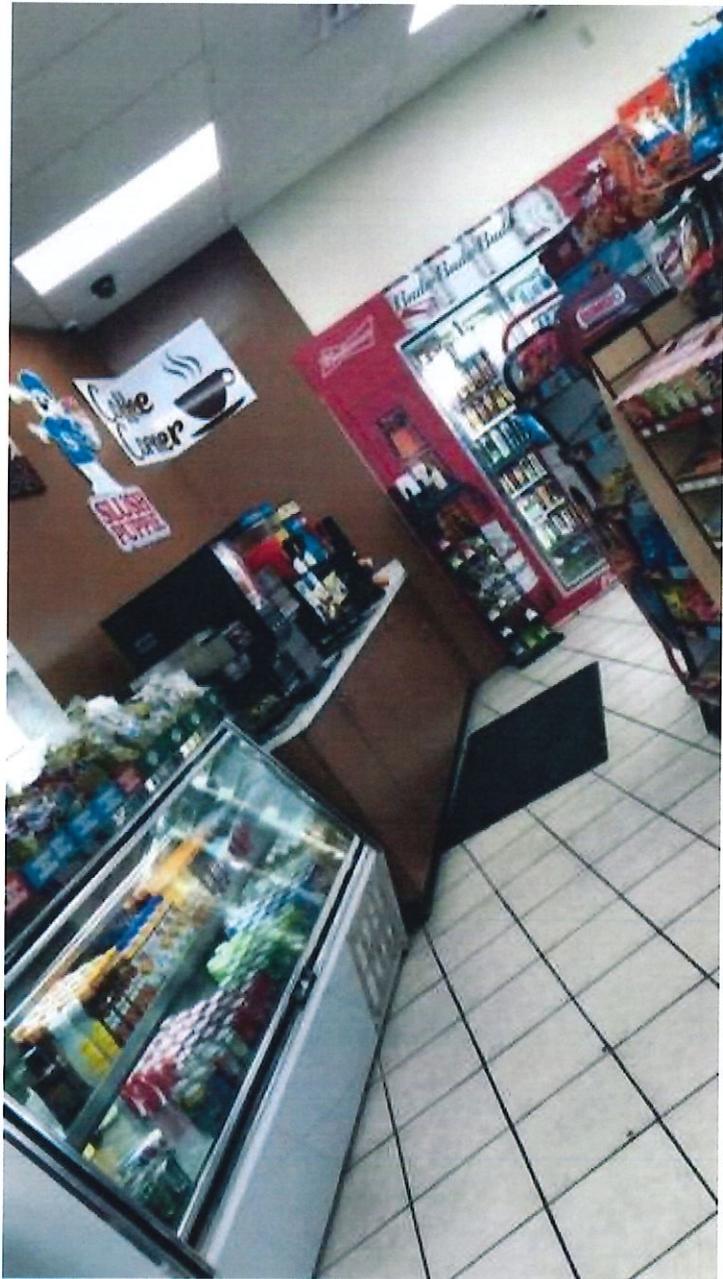
















Planning Department
 345 High Street, 3rd floor
 Hamilton, Ohio 45011

APPLICATION INFORMATION	
Applicant/Property Owner	Hamilton Investments LLC / Hamilton Convenience LLC
Property Location	1157 Central Avenue
Size of Property	1.2 Acres
Current Zoning	B-2 (Community Business District), Neighborhood Initiative Area Overlay District (NIA)
Proposed Request:	A request for multiple Conditional Use approvals for one (1) multi-story commercial building with a convenience store and gasoline refueling pumps (Automotive Services and Minor Repair) and; the operation of one (1) drive-thrus.
Petition Date	06/12/2020

Request: A request for multiple Conditional Use approvals for one (1) multi-story commercial building with a convenience store and gasoline refueling pumps (Automotive Services and Minor Repair) and; the operation of one (1) drive-thrus.

Revised Conditions of Approval:

1. The project shall be compliant with the Commercial Design Standards set forth in Section 1111.00 of the Hamilton Zoning Ordinance, including:
 - a. The applicant will provide a landscape plan from a Landscape Architect. All proposed landscaping items, including the width of the landscaping beds, shall be reviewed and approved by the City of Hamilton Municipal Arborist. All proposed landscaping item sizes to conform to the minimum size requirements. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6') feet in height, shrubs/bushes minimum of 12 inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
 - b. The gasoline station canopy shall comply with the Commercial Design Standards.
 - c. All HVAC equipment will be screened so as not to be visible.
 - d. The refuse enclosure (trash enclosure) shall have materials matching the exterior finish of the buildings, with a gate of solid wood with sufficient screening to reduce visibility into the refuse enclosure.
 - e. The proposed ground signage shall be a monument sign with a stone or masonry base, and shall comply with Section 1138.00, Signage provisions

Report continued on the next page



and Section 1111.00, Commercial Design Standards of the Hamilton Zoning Ordinance.

2. A landscaped strip shall be added along the lot frontage on both Knightsbridge Drive and Central Avenue, located behind the sidewalk. The landscaped strip shall be no less than three (3') feet in width but should be ten (10') feet wide where feasible. All landscaping identified in the site plan along the street frontage will be placed in this landscaped area instead of in the curb lawn. The final landscape plan, completed by a Landscape Architect, will be approved by the Department of Engineering, the Department of Planning, and the Municipal Arborist.
3. The final location of the Drive Thru will be approved by the Department of Engineering. Any parking conflict identified by the Department of Engineering will be remedied by the applicant.
4. There shall be no window signs or other obstructions in proposed building, for all three (3) tenant spaces. All windows will have an opacity maximum of 35%.
5. That a six (6) foot privacy fence located at all property lines abutting residential property shall be maintained at all times. The fence shall be made of a high quality, durable material and shall have brick accents that match the buildings at Central and Knightsbridge. A final design will be approved by the Department of Planning through the permitting process.
6. There shall be an eight (8) foot side yard landscaped buffer area where the project abuts a residential use, per the B-2 (Community Business) zoning regulations. The fence and landscaped buffer area shall together minimize the noise heard at the adjacent residential sites caused from activity at the site. The applicant will work with the City of Hamilton and the Southeast Civic Association on a final design.
7. Lighting plan will be provided through the permitting process and will be approved by the Planning staff. No light glare from the gasoline canopy or any other light source on the property shall extend beyond the property lines.
8. The parking plan shall adhere to the Hamilton Zoning Ordinance parking regulations and shall be approved by the Department of Engineering.
9. Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
10. All landscaping, site improvements, exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the relevant City of Hamilton codes.

Report continued on the next page





11. No automobile repair, sales, or storage is permitted on the property, only dispensing of fuel and fluids for operable motor vehicles.
12. No exterior storage or exterior sales of merchandise or material on the site in question. This shall be indicated on the final construction plans for the project.
13. Any future signage (permanent or temporary) on the site shall comply with the regulations of the City of Hamilton Zoning Ordinance.
14. That a lot combination of Parcels P6421023000018 through P6421023000029 shall be completed prior to any new construction work being done on the site in question.
15. The hours of operation of the Convenience Store and Gasoline Station shall be no earlier or later than:
 - a. 5:00 am to 11:00 pm Monday through Thursday
 - b. 5:00 am to midnight on Friday and Saturday
 - c. 7:00 am to 10:00 pm on Sunday
16. The City of Hamilton shall track public safety calls and nuisance complaints associated with the applicant and the property. If issues are identified, the property owners and business operators will work with the City to rectify issues. If issues are not resolved in a timely manner, Conditional Uses may be revoked.
17. The gasoline station operator will ensure the site and adjacent alley and sidewalks are clear of debris every morning.

Report continued on the next page



City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to the Disposition of the property with the Parcel Number P6412111000032 at 115 Franklin Street

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 8-12-2020
<input type="checkbox"/>	Resolution Date:
<input type="checkbox"/>	Public Hearing Date:

Dear Mayor and Members of Council:

The City of Hamilton owns Parcel Number P6412111000032, located at 115 Franklin Street, which is approximately 0.03 acres of vacant land. This property was acquired through the Butler County Land Reutilization Corporation (Land Bank). The City does not have a need for this parcel and wishes to dispose of the property in accordance with City of Hamilton Codified Ordinance 175.10 – Disposition of Property in an Urban Renewal Area, and consistent with previously adopted Land Bank policies and procedures (R2012-10-49). Through the City’s Side Lot Program, the homeowner occupant at 203 S. B Street, located immediately adjacent to the vacant lot, is eligible to acquire the property for One Hundred and 00/100 (\$100.00). This will eliminate the ongoing expense to the City of maintaining the parcel.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation.

Sincerely,

 Joshua A. Smith
 City Manager

Caucus Report Prepared By:

 Lauren Nelson
 Business Development Specialist

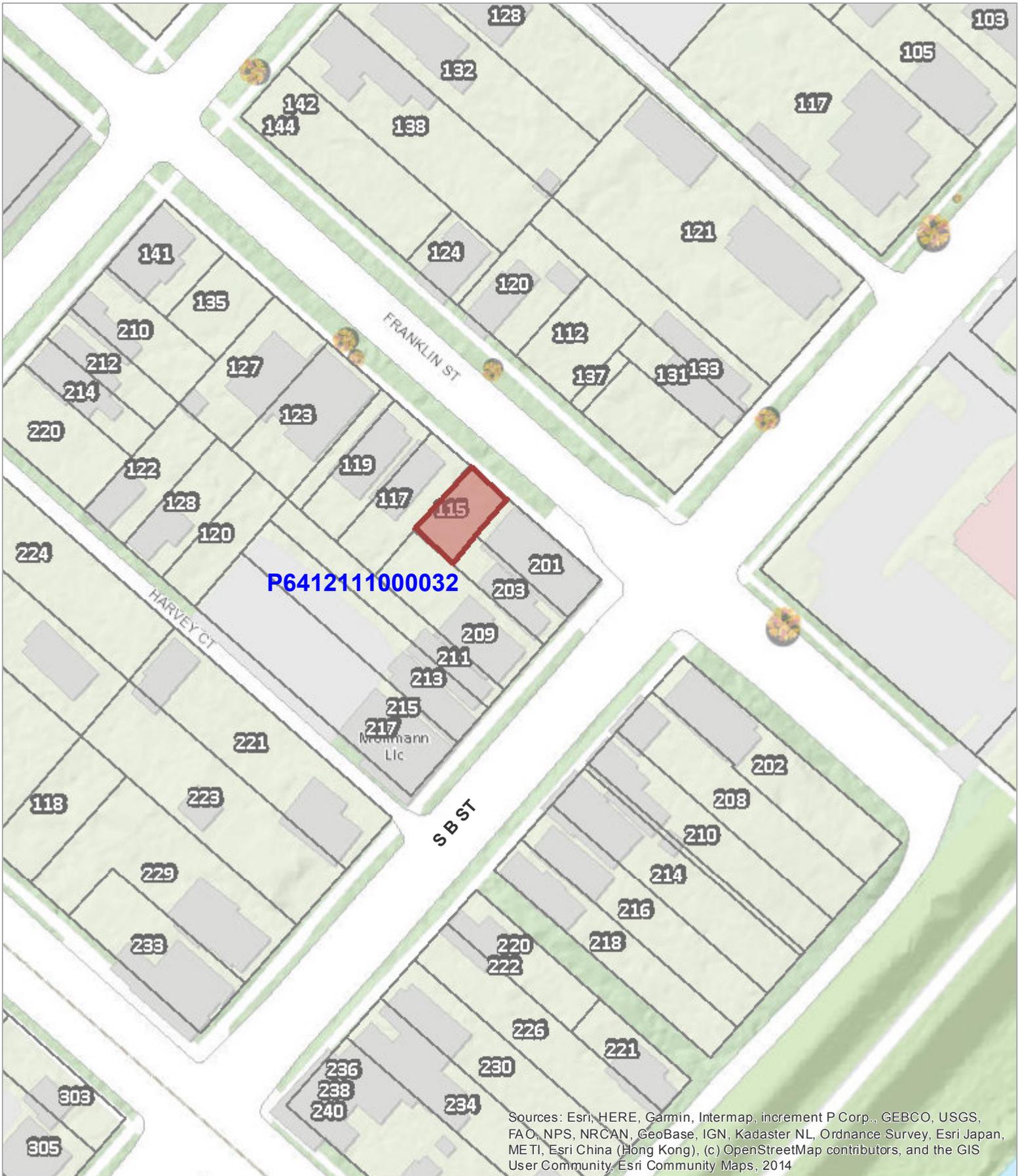
Choose Strategic Goal(s)	
<input type="checkbox"/>	I Generate 125mm in new private investment
<input type="checkbox"/>	J Increase gross wages paid by Hamilton Employers by \$100mm
<input checked="" type="checkbox"/>	P Exceed total county growth rate median home sale prices
<input type="checkbox"/>	R Generate \$40mm in investment for recreational amenities
<input type="checkbox"/>	E Engage 50,000 participants annually in special events, arts and recreation activities
<input type="checkbox"/>	O General Operations/ Government Business

Attachment:



1. Map of 115 Franklin Street





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Esri Community Maps, 2014



Areas



115 Franklin St

ArcGIS Web Map



City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to the Disposition of the property with the Parcel Number P6412003000034 at 830 Ross Avenue

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 8-12-2020
<input type="checkbox"/>	Resolution Date:
<input type="checkbox"/>	Public Hearing Date:

Dear Mayor and Members of Council:

The City of Hamilton owns Parcel Number P6412003000034, located at 830 Ross Avenue, which is approximately 0.16 acres of vacant land. This property was acquired through the Butler County Land Reutilization Corporation (Land Bank). The City does not have a need for this parcel and wishes to dispose of the property in accordance with City of Hamilton Codified Ordinance 175.10 – Disposition of Property in an Urban Renewal Area, and consistent with previously adopted Land Bank policies and procedures (R2012-10-49). Through the City’s Side Lot Program, the homeowner occupant at 828 Ross Avenue, located immediately adjacent to the vacant lot, is eligible to acquire the property for One Hundred and 00/100 (\$100.00) This will eliminate the ongoing expense to the City of maintaining the parcel.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation.

Sincerely,

 Joshua A. Smith
 City Manager

Caucus Report Prepared By:

 Lauren Nelson
 Business Development Specialist

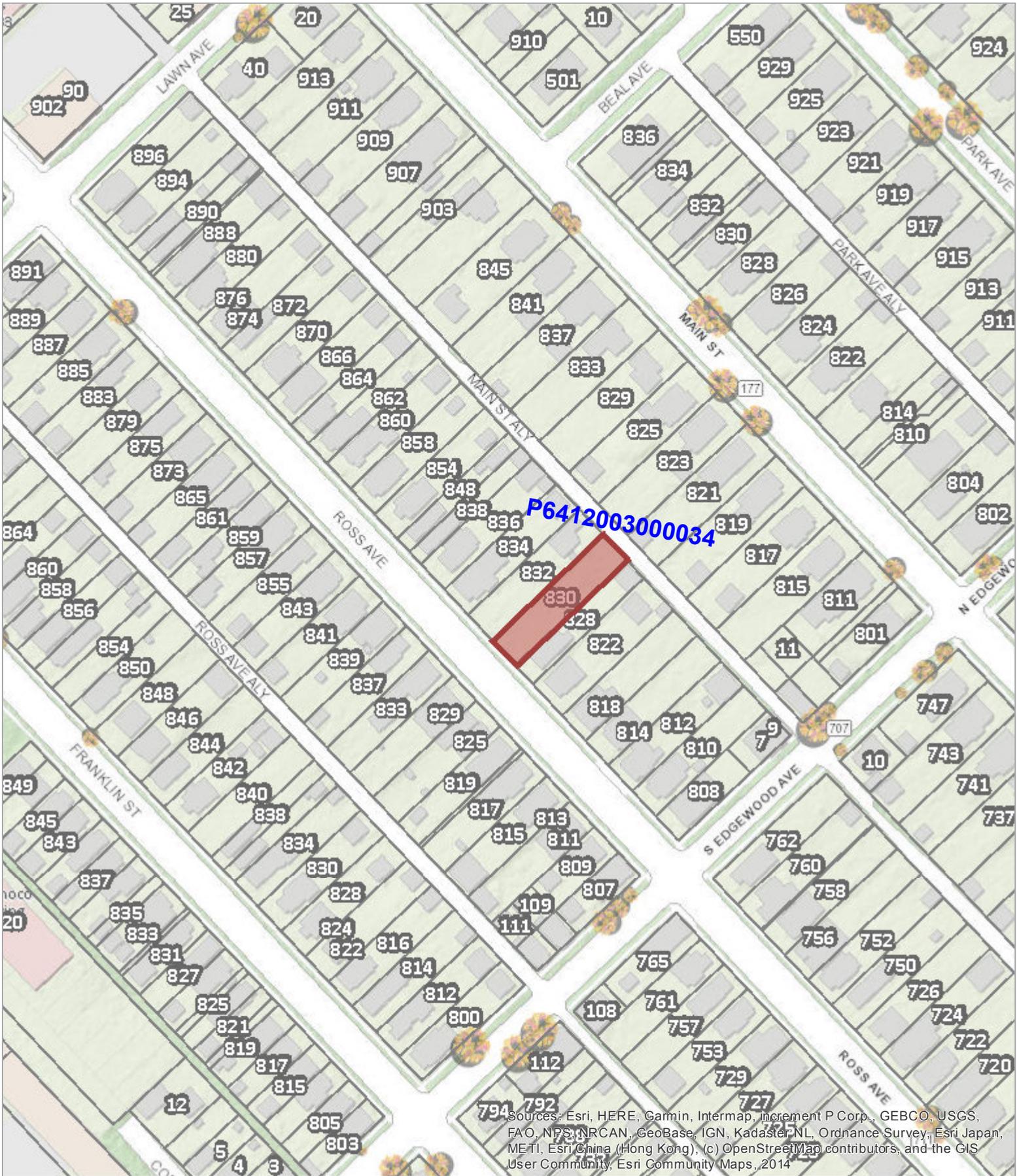
Choose Strategic Goal(s)	
<input type="checkbox"/>	I Generate 125mm in new private investment
<input type="checkbox"/>	J Increase gross wages paid by Hamilton Employers by \$100mm
<input checked="" type="checkbox"/>	P Exceed total county growth rate median home sale prices
<input type="checkbox"/>	R Generate \$40mm in investment for recreational amenities
<input type="checkbox"/>	E Engage 50,000 participants annually in special events, arts and recreation activities
<input type="checkbox"/>	O General Operations/ Government Business

Attachment:



1. Map of 830 Ross Avenue





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Esri Community Maps, 2014



Areas

 830 Ross Ave

ArcGIS Web Map



Date: 6/15/2020

The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user.

1 inch = 188 feet

City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to the Disposition of the property with the Parcel Number P6461046000064 at 847 Fairview Avenue.

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 8-12-2020
<input type="checkbox"/>	Resolution Date:
<input type="checkbox"/>	Public Hearing Date:

Dear Mayor and Members of Council:

The City of Hamilton owns parcel P6461046000064, located at 847 Fairview Avenue, which is approximately 0.12 acres of vacant land. This property was acquired through the Butler County Land Reutilization Corporation (Land Bank). The City does not have a need for this parcel and wishes to dispose of the property in accordance with City of Hamilton Codified Ordinance 175.10 – Disposition of Property in an Urban Renewal Area, and consistent with previously adopted Land Bank policies and procedures (R2012-10-49). Through the City’s Side Lot Program, the homeowner occupant at 859 Fairview Avenue, located immediately adjacent to the vacant lot, is eligible to acquire the property for One Hundred (\$100.00). This will eliminate the ongoing expense to the City of maintaining the parcel.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation.

Sincerely,

Joshua A. Smith
 City Manager

Caucus Report Prepared By:

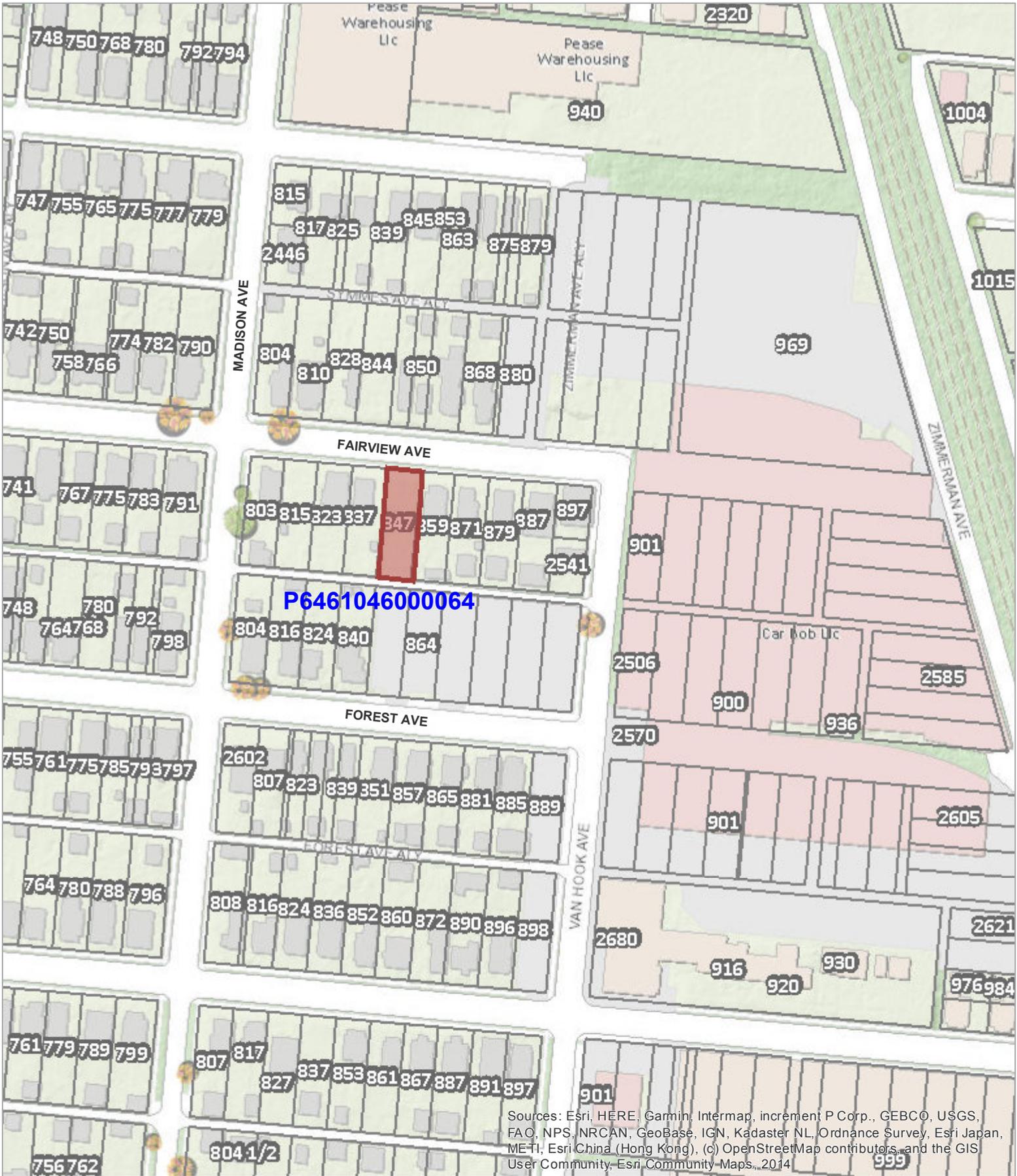
Lauren Nelson
 Business Development Specialist

Choose Strategic Goal(s)	
<input type="checkbox"/>	I Generate 125mm in new private investment
<input type="checkbox"/>	J Increase gross wages paid by Hamilton Employers by \$100mm
<input checked="" type="checkbox"/>	P Exceed total county growth rate median home sale prices
<input type="checkbox"/>	R Generate \$40mm in investment for recreational amenities
<input type="checkbox"/>	E Engage 50,000 participants annually in special events, arts and recreation activities
<input type="checkbox"/>	O General Operations/ Government Business

Attachment:

1. Map of 847 Fairview Avenue





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Esri, Community-Maps, 2014



Areas



847 Fairview Ave

ArcGIS Web Map

City of Hamilton
BUTLER COUNTY OHIO



City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to the Disposition of the property with the Parcel Number P6451045000009 at 1749 Parrish Avenue

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 8-12-2020
<input type="checkbox"/>	Resolution Date:
<input type="checkbox"/>	Public Hearing Date:

Dear Mayor and Members of Council:

The City of Hamilton owns Parcel Number P6451045000009, located at 1749 Parrish Avenue, which is approximately 0.09 acres of vacant land. This property was acquired in 1940 from Edward and Laura Nunnery. The City does not have a need for this parcel and wishes to dispose of the property in accordance with City of Hamilton Codified Ordinance 175.10 – Disposition of Property in an Urban Renewal Area. Through the City’s Side Lot Program, the immediately adjacent property owner at 1747 Parrish Avenue is eligible to acquire the property for One Hundred and 00/100 Dollars (\$100.00). This will eliminate the ongoing expense to the City of maintaining the parcel.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation.

Sincerely,

Joshua A. Smith
City Manager

Caucus Report Prepared By:

Lauren Nelson
Business Development Specialist

Choose Strategic Goal(s)	
<input type="checkbox"/>	I Generate 125mm in new private investment
<input type="checkbox"/>	J Increase gross wages paid by Hamilton Employers by \$100mm
<input checked="" type="checkbox"/>	P Exceed total county growth rate median home sale prices
<input type="checkbox"/>	R Generate \$40mm in investment for recreational amenities
<input type="checkbox"/>	E Engage 50,000 participants annually in special events, arts and recreation activities
<input type="checkbox"/>	O General Operations/ Government Business

Attachment:

1. Map of 1749 Parrish Avenue





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Esri Community Maps, 2014



Areas



1749 Parrish Ave

Exhibit #1



City Council Meeting Caucus Report

TO: The Honorable Mayor and Members of the City Council

RE: Recommendation Relative to multiple proposals for Charter amendments as submitted by the 2020 Charter Review Commission.

<input checked="" type="checkbox"/>	1 st Reading Date: 7-22-2020
<input checked="" type="checkbox"/>	2 nd Reading Date: 7-22-2020
<input type="checkbox"/>	Resolution Date:
<input checked="" type="checkbox"/>	Public Hearing Date: 7-22-2020

Dear Mayor and Members of Council:

Per City of Hamilton Codified Ordinances Section 18.11 Charter Review Commission and Resolution No. R2020-3-17, Appointing members and Chair of the City of Hamilton, Ohio's 2020 Charter Review Commission, the Charter Review Commission (the "Commission") has been in session. The Commission has been having weekly digital meetings on Mondays at 6:00PM for the 2020 months of May and June. During this time the Commissioners, City Administration, and members of the Public have been submitting topics or amendments to the Commission for discussion. Through this review process the Commission has discussed the Charter in-depth and have approved of various amendments that they will be submitting to City Council for consideration. The Commission is on track to adjourn before the July 22, 2020 City Council Meeting. The Commission will be finalizing the list of proposed amendments before then but so far the list includes revisions to Sections: 3.01, 3.05, 3.07, 5.03, 5.04, 5.09, 9.01, 9.02, 12.03, 18.02, 18.10, and large sections of Article 10.

The final list will be submitted to City Council in advance of the July 22, 2020 Meeting and made available to the Public via the City website.

City Council may approve of these proposed Charter changes, amendment them further, deny them, or pass additional amendments. All approved measures by City Council will then be submitted to the Butler County Board of Elections for the November 2020 elections. For every measure that receives a majority of votes in favor of the proposed amendment by the electors of the City of Hamilton will then be enacted.

It is the recommendation of this office that Council receives this report, concurs in the recommendation, and directs the preparation of the necessary legislation once the Charter Review Commission adjourns.

Sincerely,

Joshua A. Smith

Caucus Report Prepared By:

Nicholas Garuckas



Choose Strategic Goal(s)

- I** *Generate 125mm in new private investment*
- J** *Increase gross wages paid by Hamilton Employers by \$100mm*
- P** *Exceed total county growth rate median home sale prices*
- R** *Generate \$40mm in investment for recreational amenities*
- E** *Engage 50,000 participants annually in special events, arts and recreation activities*
- O** *General Operations/ Government Business*



City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Larry Bagford, Planning & Zoning Specialist

Agenda Item: An ordinance approving a request for a conditional use certificate to operate an automotive repair business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, property Zoned "I-2" (Industrial) Zoning District, situated in the Sixth Ward, City of Hamilton, Ohio.

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input checked="" type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input checked="" type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): 5-13-2020 Caucus Report City Council Meeting Planning Commission Meeting: 5-7-2020</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$200.00</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>
	<p>Expenditure: \$200.00</p>	
	<p>Source Funds:</p>	

Policy Issue

Does City Council wish to approve a Conditional Use Certificate, allowing Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue?

Policy Alternative(s)

Council may choose not to adopt such legislation to approve a Conditional Use Certificate, allowing Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue.

Staff Recommendation

Planning Staff recommends that Council receives this report, concurs in the recommendation of the Planning Commission and adopts the necessary legislation to approve a Conditional Use Certificate, allowing Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, based on the Planning Commission's recommendation to approve from its May 7, 2020 meeting.



Fiscal Impact Summary

The City's current fiscal impact includes any staff time allotted to the preparation of the documentation for the request for a Conditional Use Certificate by Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, is estimated at approximately \$200.00.

Background Information

The project encompasses three (3) addresses and five (5) separate parcels.

- 1001 Fairview Avenue, parcel #P6461045000046, which has an existing 6500-square foot commercial/industrial building on it.
- 1000 Fairview Avenue, parcel #P6461045000036, which has an existing 4900-square foot commercial/industrial building on it.
- 1015 Symmes Avenue, parcels #P6461045000023, #P6461045000024, and #P6461045000025, which are vacant. These three (3) adjacent lots are 18,600-square feet in area.

All of these noted properties were formerly owned by G & M Metal Products, which closed in 2019.

Submission Details

- The plans and application submitted indicate the business will be open from 9:00 AM until 6:00 PM Monday thru Friday and 9:00 AM until 2:00 PM on Saturdays. The plans propose a starting staff of ten (10) employees.
- The business will service vehicle fleet customers and will not have regular retail customers.
- The plans indicate that 1001 Fairview Avenue will be used primarily for auto repair with a small office area.
- The plans indicate that six (6) automobile lifts will be installed in this building. There are two (2) existing overhead roll up doors that will be used to bring vehicles in and out of the building.
- The existing building at 1000 Fairview Avenue will be used for automobile repair and storage. An existing overhead roll-up door will be used to bring vehicles in and out of the building. There are three (3) off street parking spaces at this address
- The three (3) parcels at 1015 Symmes Avenue will be paved with asphalt and striped for parking for employees and vehicles awaiting repair. A six-foot (6') high black vinyl clad chain-link fence will enclose this parking area. The fence will be setback ten (10) feet from Zimmerman and Symmes Avenue right of ways; and five (5) feet from the alley and the easterly property line.
- The plans propose the setback outside the fenced parking lot will be landscaped with twelve (12) shrubs along the Symmes Avenue frontage and three (3) shrubs at the southwest corner along Zimmerman Avenue.
- The plans propose four (4) trees be planted in the Fairview Avenue curb lawn in front of 1001 Fairview Avenue. Three (3) trees and ten (10) shrubs are proposed for the landscaping at 1000 Fairview Avenue.

The plans also propose the following improvements to the buildings:

1. Restoring the exterior facades of both buildings. This includes, cleaning and painting the exterior walls, and replacing the gutters and downspouts as necessary.
2. Repairing the roof of both buildings.
3. Cleaning and maintaining the landscaping of the backyard of both buildings.
4. Installing six (6) Hydraulic Lifts in one of the buildings. The building is equipped with existing electrical service, which will permit this installation without additional wiring.



Statutes

Per Section 1124.39.5 (Major Auto Repair) of the Hamilton Zoning Ordinance (HZO), automotive repair in the I-2 (Industrial) Zoning District requires a Conditional Use Approval from the Planning Commission and City Council.

Section 1155.30 (Conditional Uses – Application and Review, General Standards) of the HZO contains specific findings outlined within the HZO for review and approval of a Conditional Use by the Planning Commission.

Interdepartmental Review:

The plans were circulated for Interdepartmental Review. The City Arborist had suggestions for changes to the proposed landscape plan, but there were no objections to the overall project.

Planning Commission Recommendation

On May 7, 2020, the Planning Commission recommended Council approve a conditional use allowing Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue with the following conditions of approval:

Conditions of Approval:

1. The proposed fence around the parking area will be setback a minimum of ten (10) feet from the Zimmerman Avenue and Symmes Avenue right-of-way lines.
2. The proposed fence around the parking area will be setback a minimum five (5) feet from the edge of the alley and side property lines.
3. The proposed fence will be black vinyl coated chain-link fence with a maximum height of six (6) feet. There will be no barbed or razor wire on the fence.
4. The setback areas outside the fence along the Zimmerman Avenue and Symmes Avenue right of ways shall be landscaped with a minimum of one (1) tree every thirty (30) linear feet or portion thereof. For every required tree a corresponding number of plantings or trees, from either a, b, or c will be required for each site plan:
 - a) Bushes: Three (3) Per Required Tree
 - b) Flowering Perennials Plants: Six (6) Per Required Tree
 - c) Trees: One (1) Per Required Tree
5. The landscape plans shall be amended to comply with the recommendations of the City Arborist.
6. The fenced parking area will have a solid evergreen hedge a minimum of four (4) feet in height along the east side of the fence between the parking area and the existing residential buildings.
7. All repairs or services shall be performed within an enclosed building.
8. No junk, inoperative or unlicensed vehicles, except for those awaiting repair, shall be permitted outside of any building. Vehicles awaiting repair may not be stored on the lot for more than thirty (30) days.
9. Used or discarded motor vehicle fluids, tires, batteries, parts or equipment, shall be stored inside a building and disposed of in accordance with state and federal regulations
10. No vehicles shall be kept on the property for salvaging of parts and equipment to repair other vehicles.
11. Vehicular access drives shall be limited to no more than one (1) access drive per street frontage, unless otherwise approved by the City Traffic Engineer.



12. Lighting of the parking lot, shall be oriented so as not to project more than one(1) foot candle of light beyond the property lines
13. Trash/Recycling containers shall be kept behind the principal structure, enclosed by an opaque fence or wall with a minimum height of six (6) feet.
14. No outdoor storage of any material or waste shall be permitted on site.
15. All improvements will be in place before the business commences operation.
16. If at any time these and any other conditions of approval are not maintained in compliance a notice of violation will be sent to the applicant of record providing thirty (30) days to achieve compliance or be subject to the Penalties listed in in Section1186.00(Violation and Penalty) of the Hamilton Zoning Ordinance.

It is the recommendation of the Planning Commission that Council receives this report, concurs in the recommendation and directs the preparation of the necessary legislation.

Attached Information

- 1) Exhibit A - Plans and Application
- 2) Exhibit B - Recommended Conditions of Approval
- 3) Exhibit C - Location Map
- 4) Exhibit D - Zoning Map
- 5) Exhibit E - Notice of Public Hearing Letter
- 6) Exhibit F - Planning Commission Staff Report

Copies Provided to:

N/A





CONDITIONAL USE APPLICATION

Note: Staff correspondence pertaining to updates on your application, including reports and notifications, is conducted via email. Please be sure to include an email address for each of the contacts below. Staff is also able to notify additional individuals by providing their name and email address on a separate page titled "Additional Contacts" which should be included within your application.

PROPERTY ADDRESS: 1000-1001 FAIRVIEW AVE & SYMMES

Property Owner: COTTELL INVESTMENTS

Owner's Mailing Address: _____

Email Address: _____ Phone Number: _____

Applicant's Name (If different from owner): IHAB KALDAS

Applicant's Mailing Address: 1244 BARRISTER COURT WEST CHESTER OH 45069

Email Address: IHABKALDAS@GMAIL.COM Phone Number: 513-807-1600

Architect / Engineer: TES ARCHITECTS

Mailing Address: 121 WINSTON AVE HAMILTON OH 45013

Email Address: TOM@TESARCHITECTS.COM Phone Number: 630-391-1074

Previous Legal Use of Property: INDUSTRIAL I2- MACHINE SHOP | METAL FABRICATION

Date Previous Use Discontinued: _____

Proposed New Use of Property: AUTOMOTIVE SERVICE & MINOR REPAIRS

PLEASE NOTE:

Incomplete applications or applications missing the required materials necessary to conduct a review will not be reviewed by staff nor will they be placed on the agenda to be heard by the Planning Commission until all required information has been submitted.

CERTIFICATION:

I certify that all of the information contained in this Application is complete, true, and accurate.

Applicant's Signature: _____

Date: 3/11/20

Property Owner's Signature: _____

Date: 03/12/2020

For questions or more information, please contact Planning at 513 785-7350 | www.hamilton-city.org

March 3, 2020

City of Hamilton Planning Department
345 High St Suite 330
Hamilton Oh 45011
Attention: Mr. Larry Bagford, Planning & Zoning Specialist

Reference: Pre Application Meeting-Request for Conditional Permitted Use
P6461045000036-1000 FAIRVIEW AVE
P6461045000046-1001 FAIRVIEW AVE
P6461045000025-SYMMES
P6461045000024-SYMMES
P6461045000023-SYMMES

Gentlemen:

This correspondence is to serve as introduction for an application to obtain an approval for a Conditional Permitted zoning use within the City Of Hamilton for the above referenced properties.

The Background

The Kaldas Properties, interred into a Purchase Contract with Cuttell Investments to purchase 1000 Fairview Avenue, 1001 Fairview Ave and an adjacent 3 parcel parking lot on Symes Avenue (the above referenced properties). The properties which consist of 2 buildings on each side of Fairview Avenue and the adjacent Symes Avenue parking lot are zoned Industrial (I2). The Kaldas Properties intends to operate an Automotive Repair/Maintenance Facility for Fleet Customers within the 2 buildings, and use the parking lot for employees parking and vehicle parking. It is our understanding that this type of business is a Conditional Permitted use within this zoning type.

The Proposed Business

This proposed business will have 10 employees (auto technicians, parts coordinators, drivers and supervisor). The business hours will be Monday thru Friday 9 am to 6 pm and Saturday 9 am to 2 pm. The business will strictly service existing fleet clients only and will provide vehicle pickup and delivery

KALDAS PROPERTIES, LLC

***7244 Barrister Court
West Chester OH 45069
Phone 513-807-1600***



service to these clients. This means there will be no physical clients present at the site nor will it requires any signage. In another word this is not a retail auto repair business. The business operation will be inside the building only; there will be no activities outside the buildings. The operation of the business will fully comply with all the conditions specified within the pertinent section of the Zoning ordinance (Section 1124.39.6 related to Automotive Service and Minor Repair)

The Project Scope and Improvements.

The proposed project scope will include the following:

1. Restoring the exterior facades of both buildings. This includes, cleaning, repointing and painting the exterior walls and replacing the gutters and downspouts as necessary.
2. Repairing the Roof of both buildings
3. Cleaning and maintaining the landscaping of the backyard of both buildings.
4. Installing 6 Hydraulic Lifts in one of the Buildings. The building is equipped with existing electrical service which will permit this installation without additional wiring.
5. Installing security/privacy fence on the perimeter of the parking lot on Symes Avenue. This parking lot will be used for employees parking and staging client's vehicles that are going to be repaired.

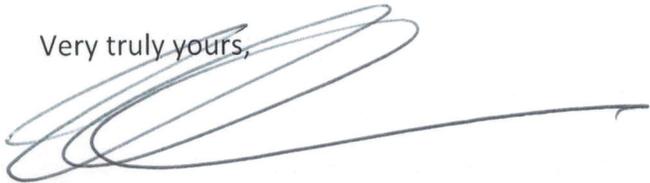
Proposed Site Plan/ Building Plan

There will be no Additional Site work, alteration to the structures, the driveways, the overhead doors or the existing doors or windows.

I am available at any time to answer any questions or concerns regarding this matter.

Thank you for your time and your considerations.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Ihab Kaldas', with a long horizontal flourish extending to the right.

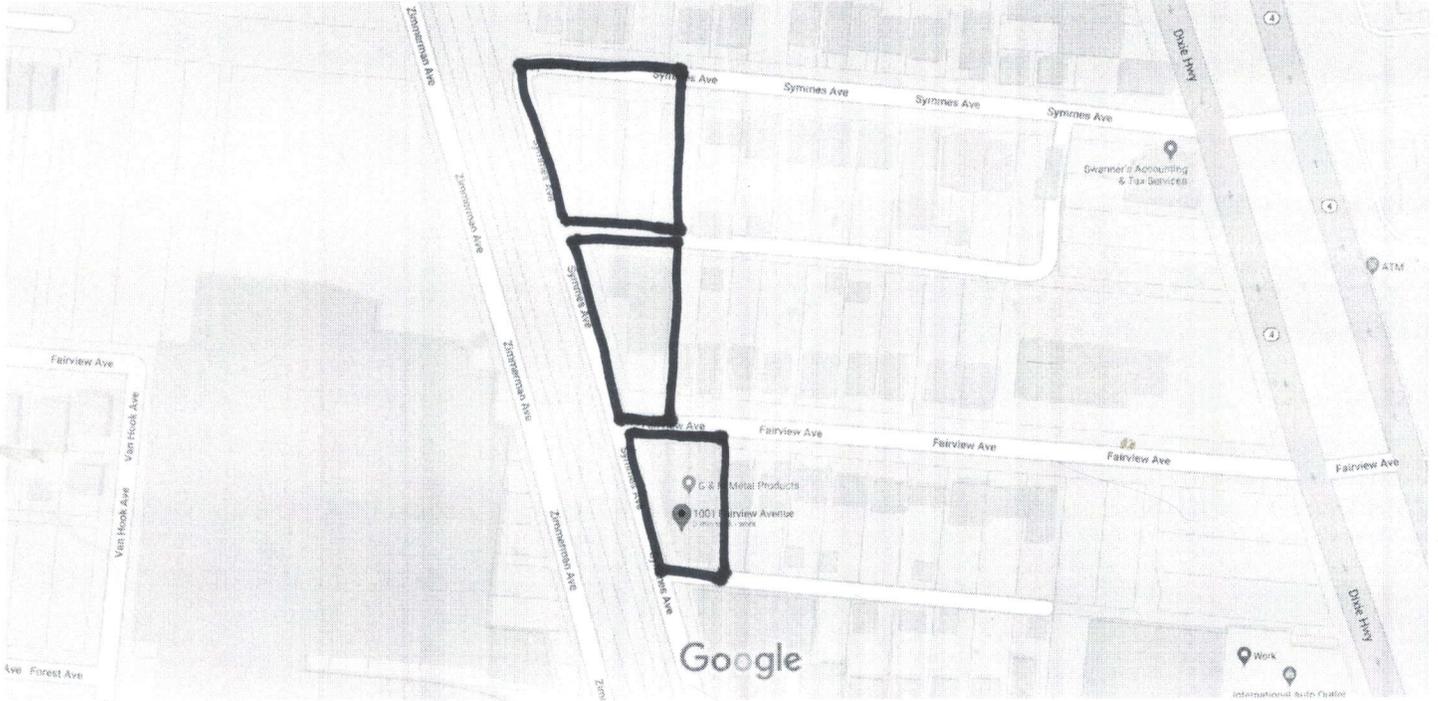
Ihab Kaldas, President
Kaldas, Properties

KALDAS PROPERTIES, LLC

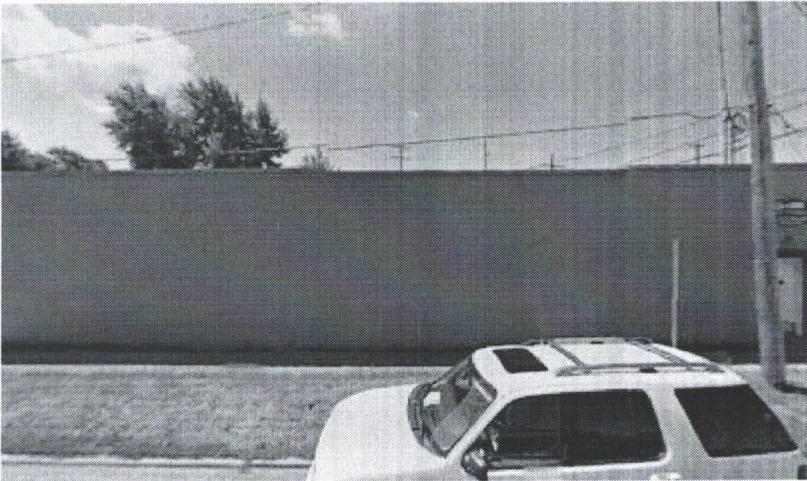
***7244 Barrister Court
West Chester OH 45069
Phone 513-807-1600***

A decorative graphic at the bottom right of the page, consisting of several overlapping dark gray and black rectangular shapes.

Google Maps 1001 Fairview Ave



Map data ©2020 50 ft



1001 Fairview Ave

Hamilton, OH 45015



Directions



Save



Nearby



Send to your phone



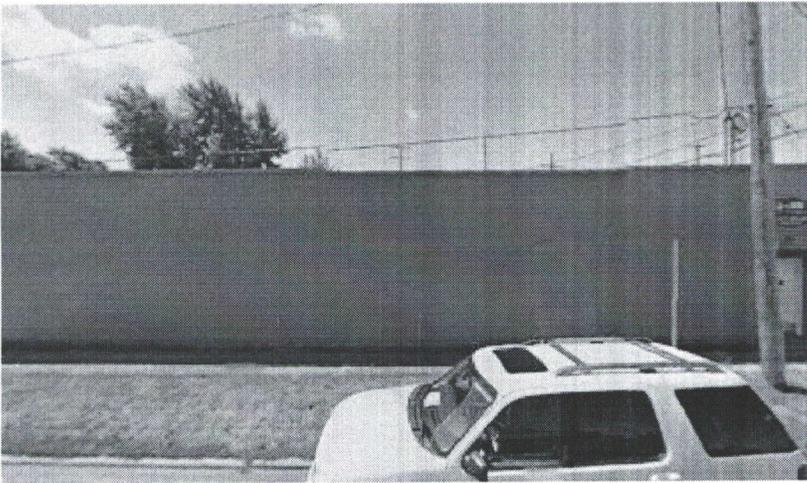
Share

Photos

Google Maps 1001 Fairview Ave



Imagery ©2020 Maxar Technologies, U.S. Geological Survey, Map data ©2020 50 ft



1001 Fairview Ave

Hamilton, OH 45015



Directions



Save



Nearby



Send to your phone

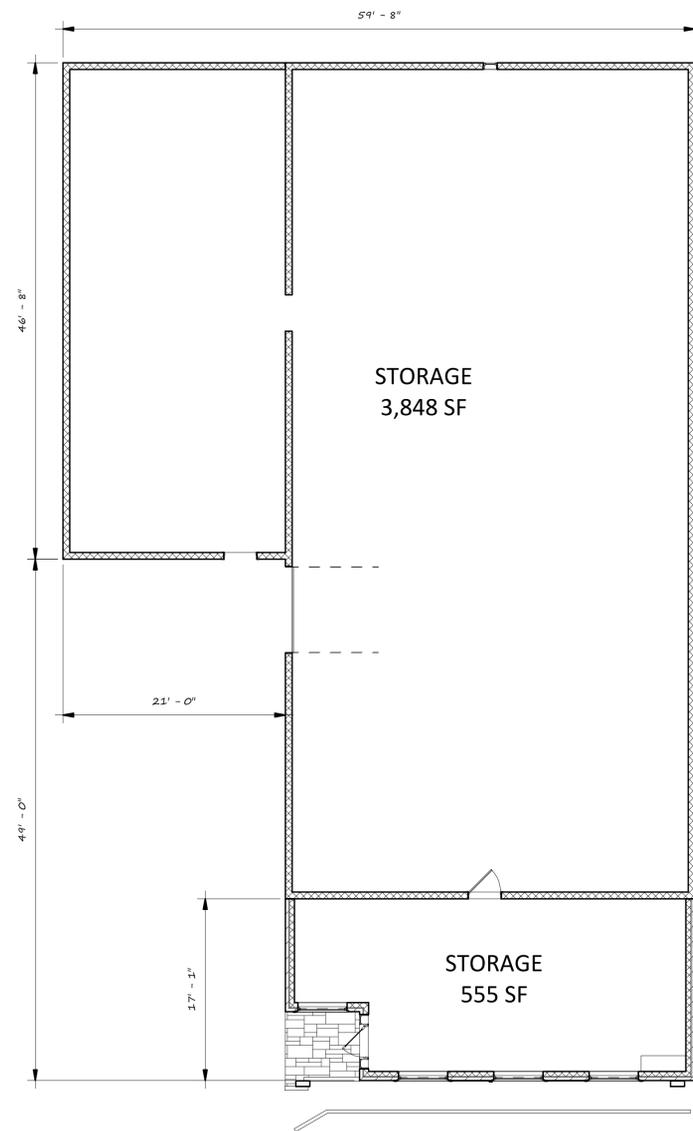


Share

Photos

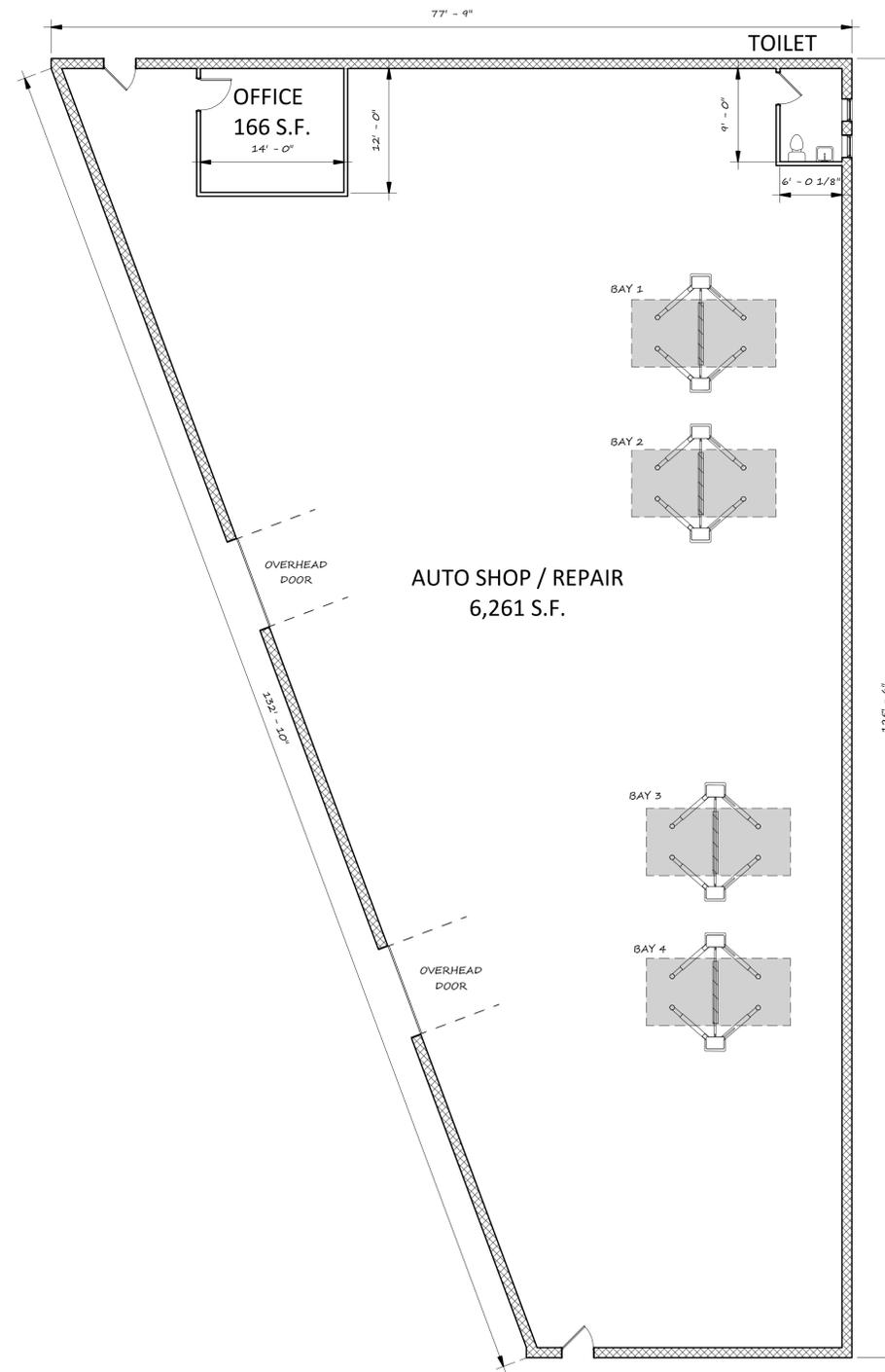
Revisions

Revision Number	Revision Date



1000 FAIRVIEW - FLOOR PLAN

SCALE: 1/8" = 1'-0"



1001 FAIRVIEW - FLOOR PLAN

SCALE: 1/8" = 1'-0"

SCHEMATIC DRAWINGS
AUTO REPAIR SHOP
1001 FAIRVIEW AVE.
HAMILTON, OHIO

121 WINSTON DRIVE
HAMILTON, OHIO 45013
630-391-1074
tom@tesarchitects.com



TES # 2020-009
Drawn: TES
Date: 4-5-2020

A-2

TES #	2020-009
Drawn:	Author
Date:	3-20-2020

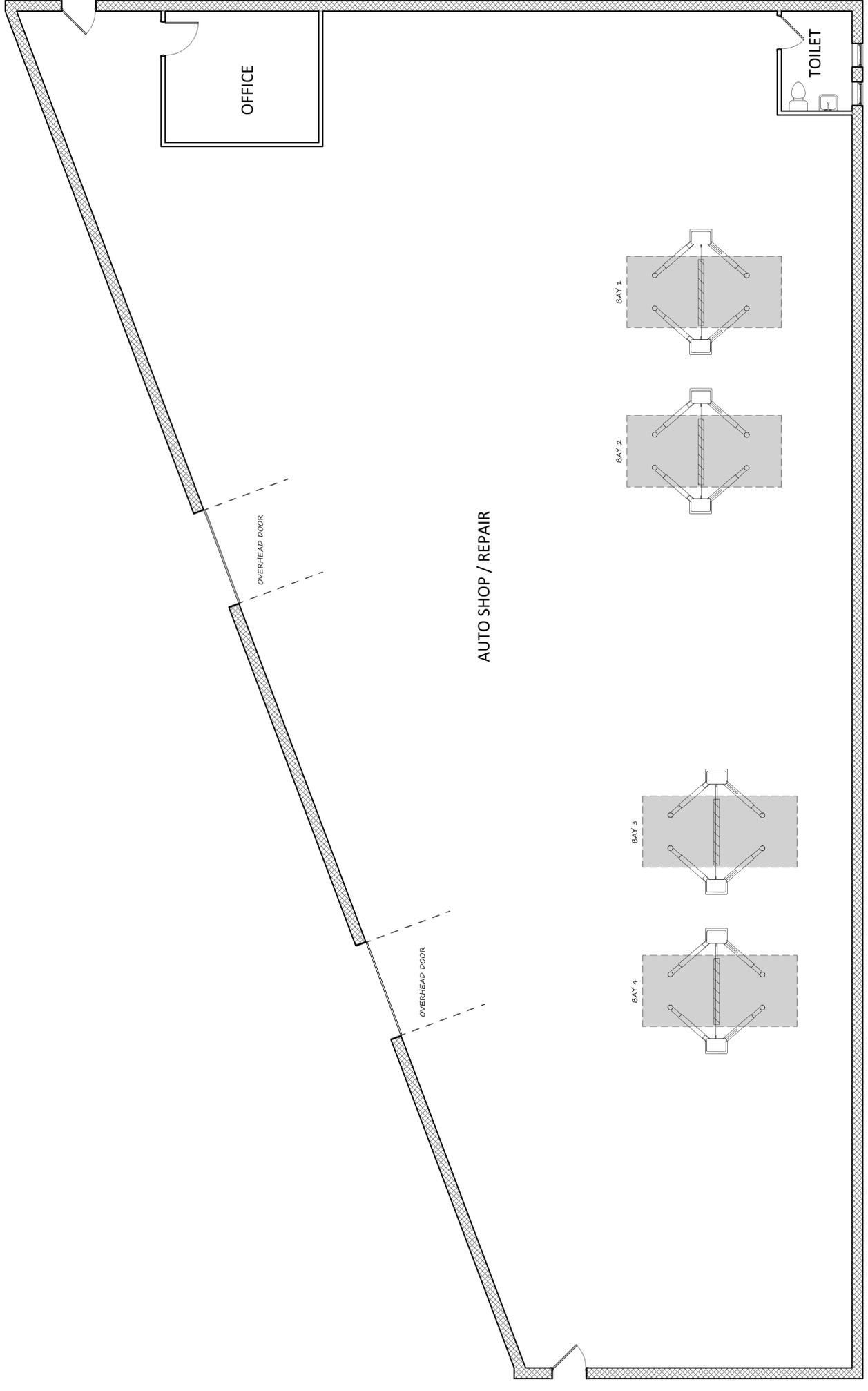


121 WINSTON DRIVE
HAMILTON, OHIO 45013
630-391-1074
tom@tesarchitects.com

SCHMATIC DRAWINGS
AUTO REPAIR SHOP
1001 FAIRVIEW AVE.
HAMILTON, OHIO

Revisions	
Revision Number	Revision Date

Copyright 2020
TES Architects P.C.



Copyright 2020 TES Architects P.C.	
Revisions	
Revision Number	Revision Date

SCHEMATIC DRAWINGS
 AUTO REPAIR SHOP
 1001 FAIRVIEW AVE.
 HAMILTON, OHIO

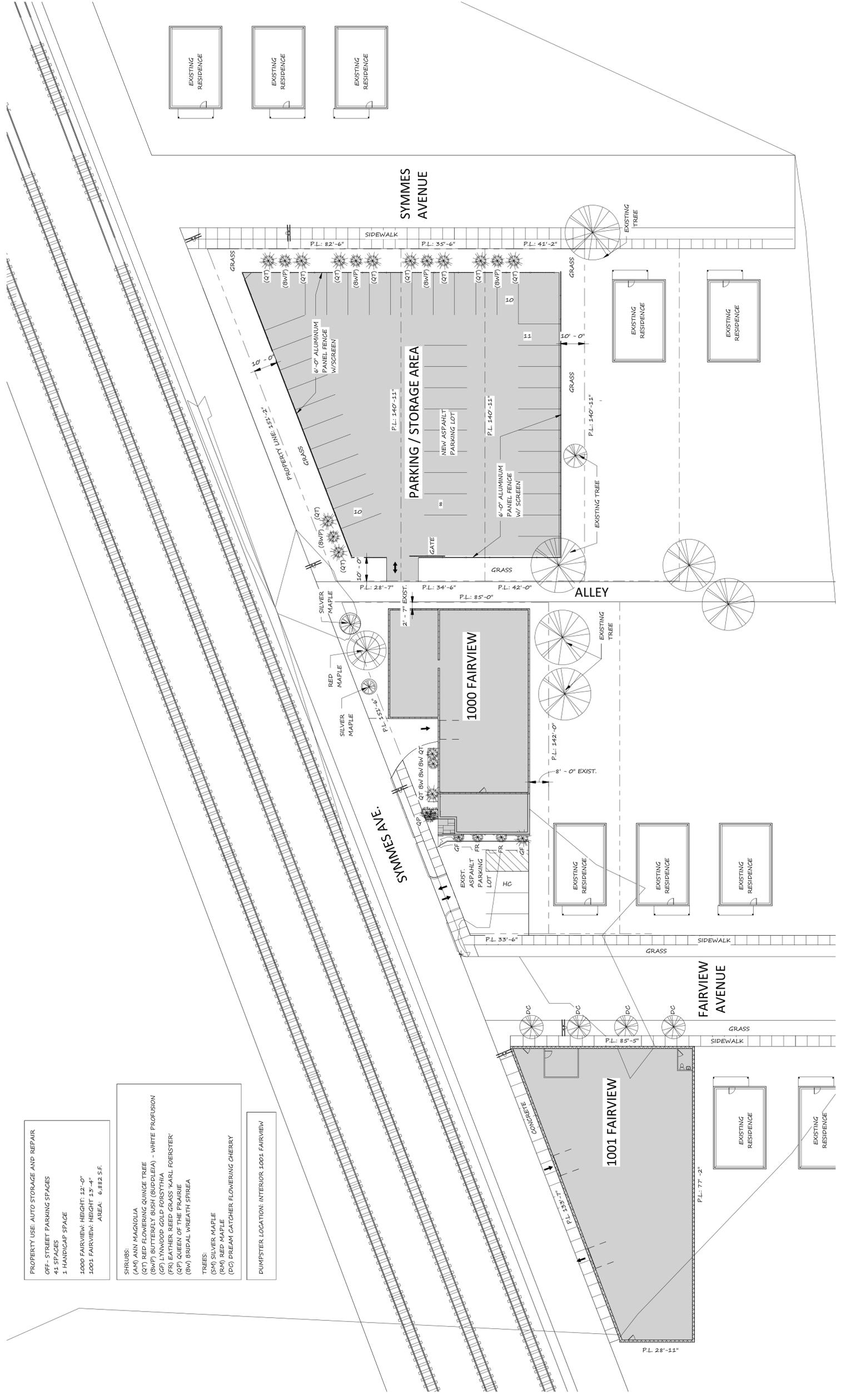
TES architects
 ARCHITECTURE FOR A GREENER PLANET
 630-391-1074
 tom@tesarchitects.com
 121 WINSTON DRIVE
 HAMILTON, OHIO 45013



TES #	2020-009
Drawn:	TES
Date:	4-5-2020

A-1

ALL DIMENSIONS ARE APPROXIMATE AND BASED
 ON CURRENT INFORMATION AVAILABLE.
 ADDITIONAL ENGINEERING IS REQUIRED FOR
 EXACT PROPERTY DIMENSIONS.



PROPERTY USE: AUTO STORAGE AND REPAIR
 OFF- STREET PARKING SPACES
 43 SPACES
 1 HANDICAP SPACE
 1000 FAIRVIEW: HEIGHT: 12'-0"
 1001 FAIRVIEW: HEIGHT: 13'-4"
 AREA: 6,882 S.F.

- SHRUBS:**
- (AM) ANN MAGNOLIA
 - (QT) RED FLOWERING QUINCE TREE
 - (BWP) BUTTERFLY BUSH (BUDDLEIA) - WHITE PROFUSION
 - (GF) LYWOOD GOLD FORSYTHIA
 - (FR) LEATHER REED GRASS 'KARL FOERSTER'
 - (QP) QUEEN OF THE PRAIRIE
 - (BW) BRIDAL WREATH SPIREA
- TREES:**
- (SM) SILVER MAPLE
 - (RM) RED MAPLE
 - (DC) DREAM CATCHER FLOWERING CHERRY

DUMPSTER LOCATION: INTERIOR 1001 FAIRVIEW

SITE PLAN

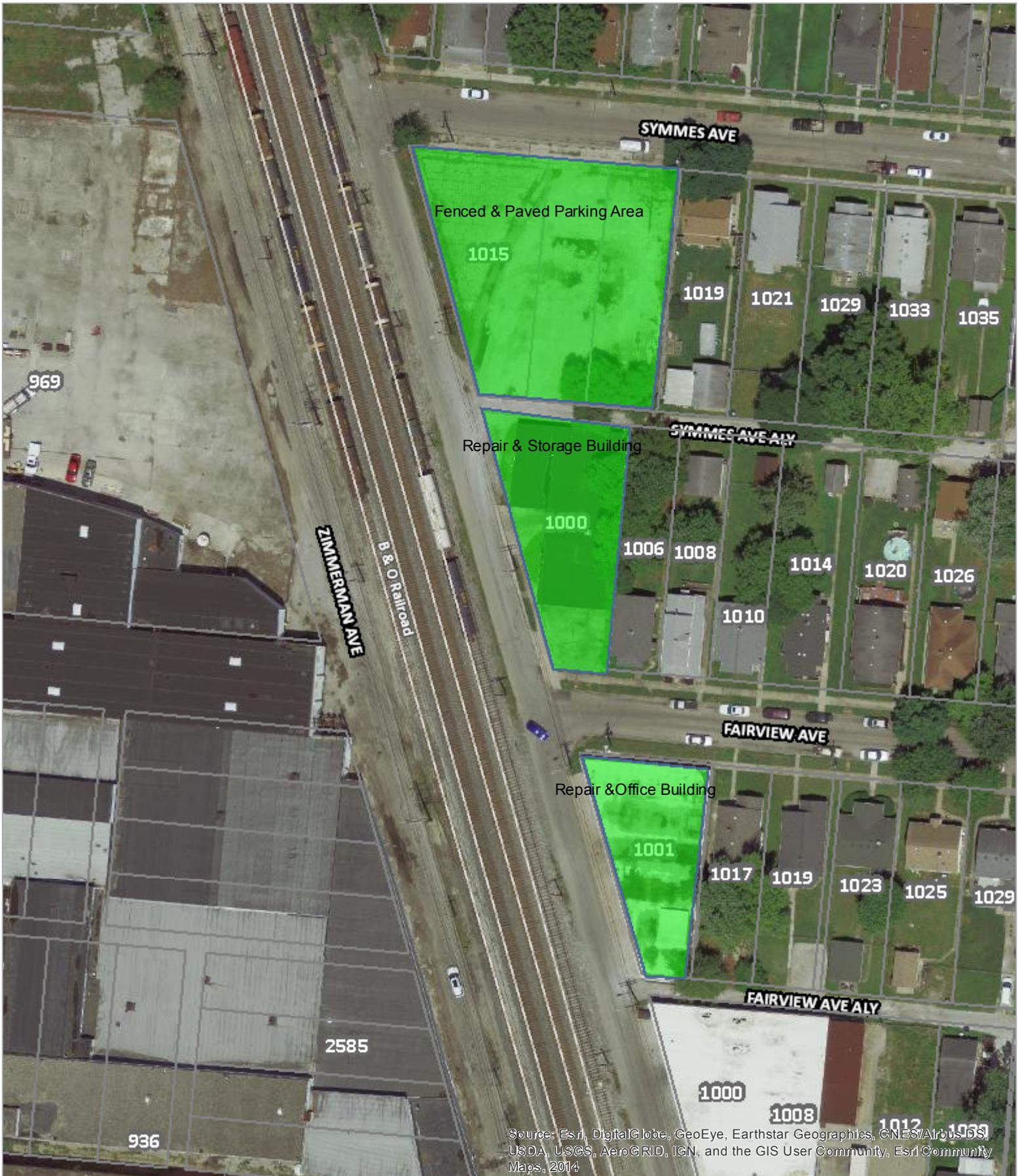
SCALE: 1" = 20'-0"

Exhibit B - Recommended Conditions of Approval

Conditions of Approval for 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue

1. The proposed fence around the parking area will be setback a minimum of ten (10) feet from the Zimmerman Avenue and Symmes Avenue right-of-way lines.
2. The proposed fence around the parking area will be setback a minimum five (5) feet from the edge of the alley and side property lines.
3. The proposed fence will be black vinyl coated chain-link fence with a maximum height of six (6) feet. There will be no barbed or razor wire on the fence.
4. The setback areas outside the fence along the Zimmerman Avenue and Symmes Avenue right of ways shall be landscaped with a minimum of one (1) tree every 30 linear feet or portion thereof. For every required tree a corresponding number of plantings or trees, from either a, b, or c will be required for each site plan:
 - a) Bushes: three Per Required Tree
 - b) Flowering Perennials Plants: 6 per Required Tree
 - c) Trees: one Per Required Tree
5. The landscape plans shall be amended to comply with the recommendations of the City Arborist.
6. The fenced parking area will have a solid evergreen hedge a minimum of 4-feet in height along the east side of the fence between the parking area and the residential buildings there.
7. All repairs or services shall be performed within an enclosed building.
8. No junk, inoperative or unlicensed vehicles, except for those awaiting repair, shall be permitted outside of any building. Vehicles awaiting repair may not be stored on the lot for more than 30 days.
9. Used or discarded motor vehicle fluids, tires, batteries, parts or equipment, shall be stored inside a building and disposed of in accordance with state and federal regulations
10. No vehicles shall be kept on the property for salvaging of parts and equipment to repair other vehicles.
11. Vehicular access drives shall be limited to no more than one (1) access drive per street frontage, unless otherwise approved by the City Traffic Engineer.
12. Lighting of the parking lot, shall be oriented so as not to project more than 1 foot candle of light beyond the property lines
13. Trash/Recycling containers shall be kept behind the principal structure, enclosed by an opaque fence or wall with a minimum height of six (6) feet.
14. No outdoor storage of any material or waste shall be permitted on site.

15. All improvements will be in place before the business commences operation.
16. If at any time these and any other conditions of approval are not maintained in compliance a notice of violation will be sent to the applicant of record providing 30 days to achieve compliance or be subject to the Penalties listed in in Section1186.00 HZO.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri Community Maps, 2014



Areas

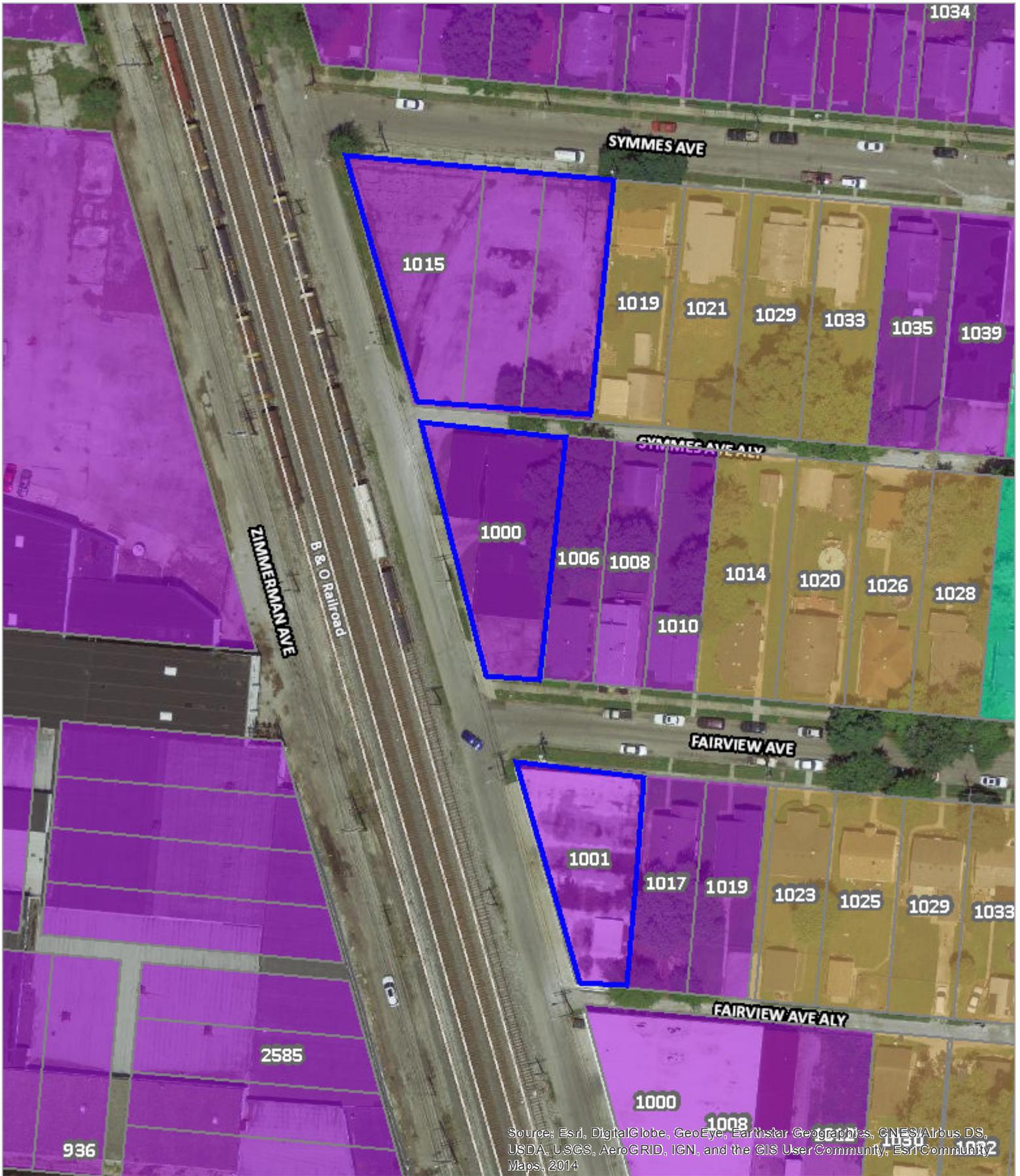


1000, 1001 Fairview & 1015 Symmes



Site Address Points

Exhibit C- Location Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS UserCommunity, Esri Community Maps, 2014



Areas

Override 1

Site Address Points

1000 & 1001 Fairview Zoning Map



Exhibit D - Zoning Map

The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained here in and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user.

Date: 4/24/2020

1 inch = 94 feet

Exhibit E - Notice of Public Hearing



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

February 19, 2020

NOTICE OF PUBLIC HEARING

LOCATION: 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue
APPLICANT: Ihab Kaldas
REQUEST: The applicant is requesting a Conditional Use Approval to operate an Automotive Repair Business. The site is located within an I-2, Industrial Zoning District.

Attention Property Owner:

The City of Hamilton Planning Commission will hold a public hearing on **Thursday, May 7, 2020 at 1:30 P.M.** in the Council Chambers of the City Building located at 345 High Street and via Zoom Webinar, at: <https://zoom.us/j/93410265331>. Or dial: 1 312-626-6799 then dial the Webinar ID: 934 1026 5331 when prompted.

You are a property owner within 500 feet of the subject property and as such are required by statute to be notified of this public hearing.

An application and plans for this project as well as the Commission Bylaws are on file in our office and available for your review. These materials, in addition to future updates and reports completed by staff during the review process, can be found online at:

<https://www.hamilton-city.org/266/Planning-Commission>.

The hearing is open to the public. However, due to the State of Emergency related to COVID-19, the Planning Department is encouraging those who are comfortable participating in the public hearing remotely to do so. Those participating via webinar or phone call will still have an opportunity to provide input. Please use a computer or download the Zoom app for smartphones to participate using the following information:

Zoom Webinar Link: <https://zoom.us/j/93410265331>
the Webinar ID: 934 1026 5331.

If you have any comments concerning this matter, you may appear at the public hearing or you may forward your comments to the Planning Department in writing for presentation at the meeting.

If you or anyone planning to attend this hearing have a disability for which we need to provide accommodations, please notify staff of your requirements at least three (3) days prior to the public hearing.

If you have any questions, please visit the Planning Department located at 345 High Street, Hamilton, Ohio, or contact **Larry Bagford**, of the City of Hamilton Planning Department at **785-7350**.



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

Sincerely,

Larry Bagford

Larry Bagford, CFM
Planning & Zoning Specialist

See Reverse Side for Public Hearing Notification Map

Exhibit F - Planning Commission Staff Report



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

For the Planning Commission Meeting of May 7, 2020

To: Planning Commission
From: Larry Bagford, Planning & Zoning Specialist

Date: April 22, 2020

Subject: AGENDA ITEM # 1–New Business
APPLICANT: Ihab Kaldas
LOCATION: 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue
REQUEST: Request for a Conditional Use to Operate an Automotive Repair Business and a variance to the ten (10) foot front yard setback requirement

BASIC INFORMATION		
Applicant/Property Owner	Ihab Kaldas - Applicant Cuttel Investments- Property Owners	
Architect/Engineer/Consultant	Tess Architects	
Size of Property	Approximately .76 Acres	
Current Zoning	I-2 Industrial District	
Requests	Request for a Conditional Use to Operate an Automotive Repair Business	
Size of Revision	N/A - Existing Buildings	
ADJACENT LAND USE/ZONING INFORMATION		
<i>Direction</i>	<i>Land Use</i>	<i>Zoning</i>
North	Residential	I-2 Industrial District
South	Boat Manufacturer	I-2 Industrial District
East	Single Family Residential	I-2 Industrial District and R-3 One to Three Family Residential
West	Railroad Tracks	I-2 Industrial District

Section A: Introduction and Background

Section A.1: Project Overview

Mr. Ihab Kaldas is requesting a Conditional Use Approval to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue. This property is located in an I-2 Industrial Zoning District. Per Section 1124.39.5 of the Hamilton Zoning Ordinance (HZO), Major Automotive Repair requires a Conditional Use Approval in the I-2 Industrial Zoning District.

Report continued on the next page





Section A.2: Existing Site Conditions

The project encompasses three addresses and five separate parcels.

- 1001 Fairview Avenue, parcel#P6461045000046 which has an existing 6500-square foot commercial/industrial building on it.
- 1000 Fairview Avenue, parcel #P6461045000036 which has an existing 4900-square foot commercial/industrial building on it.
- 1015 Symmes Ave consists of three parcels #P6461045000023 thru 025 all of which are vacant. These three adjacent lots are 18,600-square feet in area.

Section A.3: History

All of these properties were formally owned by G & M Metal Products, which closed in 2019.

Section B: Petition Review

Section B.1: Review of Applicant Submittal Materials

The plans and application submitted indicate the business will be open from 9:00 AM until 6:00 PM Monday thru Friday and 9:00 AM until 2:00 PM on Saturdays. The plans propose a starting staff of ten (10) employees.

The business will service vehicle fleet customers and will not have regular retail customers.

The plans indicate that 1001 Fairview Avenue will be used primarily for auto repair with a small office area. The plans indicate that six (6) automobile lifts will be installed in this building. There are two existing overhead roll up doors that will be used to bring vehicles in and out of the building.

The exiting building at 1000 Fairview Avenue will be used for automobile repair and storage. There is an existing overhead roll-up door that will be use to bring vehicles in and out of the building. There are three off street parking spaces at this address

The three parcels at 1015 Symmes Avenue will be paved with asphalt and striped for parking of vehicles awaiting repair and for employees. A six-foot high aluminum, picket panel fence will enclose this parking area. The fence will be setback ten feet from all property lines.

The plans propose the setback outside the fenced parking lot will be landscaped with 12 shrubs along the Symmes Avenue frontage and three (3) shrubs at the southwest corner along Zimmerman Avenue.

Report continued on the next page





The plans propose four (4) trees be planted in the Fairview Avenue curb lawn in front of 1001 Fairview Avenue. Three (3) trees and ten (10) shrubs are proposed for the landscaping at 1000 Fairview Avenue.

The plans also propose the following improvements to the buildings:

1. Restoring the exterior facades of both buildings. This includes, cleaning, and painting the exterior walls and replacing the gutters and downspouts as necessary.
2. Repairing the roof of both buildings
3. Cleaning and maintaining the landscaping of the backyard of both buildings.
4. Installing six (6) Hydraulic Lifts in one of the buildings. The building is equipped with existing electrical service, which will permit this installation without additional wiring.

Section B.2: Interdepartmental Review

The plans were circulated for Interdepartmental Review and there were following comments:

From the City Arborist:

1. Substitute [Frontier Elm \(Ulmus 'Frontier'\)](#) for the silver maple trees. Silver maple are weak wooded trees and susceptible to storm damage.
2. Substitute [Green Column Black Maple \(Acer nigrum 'Greencolumn'\)](#) for the red maple tree. Red Maple does better in acidic soils found east I-71 in Ohio. Our spoils in Hamilton are clay loam and high pH or basic. Red maples are susceptible to many insect pests, diseases and micronutrient deficiencies.
3. Substitute [Yoshino Cherry \(Prunus yedoensis\)](#) for Dream Catcher Flowering Cherry. Dream Catcher Cherry is susceptible to many insect pests, diseases and micronutrient deficiencies.
4. Substitute Summer Sweet ([Clethra alnifolia](#)) for the White butterfly bush. Butterfly bushes are non-native and found to be invasive.

Section B.3: Submitted Request

Mr. Kaldas is requesting conditional use approval as required by the zoning ordinance in order to perform automotive repair utilizing the referenced properties at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue.

Report continued on the next page





Section C: Statutes

Section C.1: Conditional Use

Per Section 1124.39.5 HZO; automotive repair requires a Conditional Use Approval from the Planning Commission and City Council.

Section 1155.30 (Conditional Uses – Application and Review, General Standards) contains specific findings outlined within the HZO for review and approval of a Conditional Use by the Planning Commission.

In reviewing an application for a Conditional Use, the Planning Commission shall consider whether there is adequate evidence that the proposed Conditional Use is consistent with the following nine (9) criteria, general standards for a conditional use:

- (1) The proposed Conditional Use is to be located in a district wherein such use may be permitted, subject to the requirements of this Section and the Zoning Ordinance.
- (2) The proposed Conditional Use will not substantially or permanently injure the appropriate use of neighboring property and will serve the public convenience and welfare.
- (3) The proposed Conditional Use will be harmonious with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area.
- (4) The proposed Conditional Use shall be adequately served by essential public facilities and services such as, but not limited to, roads, public safety forces, storm water facilities, water, sanitary sewer, refuse, and schools. If not, the applicant shall be responsible for the extension or establishment of any public facilities and services to effectively service the proposed Conditional Use.
- (5) The proposed Conditional Use will have vehicular approaches to the property, which shall be so designed as not to create an interference with traffic on surrounding streets.
- (6) The proposed Conditional Use will comply with all applicable development standards, except as specifically altered in the approved Conditional Use.
- (7) The proposed Conditional Use will not be hazardous to or have a negative impact on existing or future neighboring uses.

Report continued on the next page





- (8) The proposed Conditional Use will not involve uses, activities, processes, materials, equipment and conditions of operations, including, but not limited to, hours of operation, that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to the uses permitted in the base zoning district.
- (9) The proposed Conditional Use will not impede the normal and orderly development.

Section C.2: Plan Hamilton

Plan Hamilton is the updated Comprehensive Plan for the city; a living document meant to guide zoning and land use decisions for the present and the future. Conditional Uses should be compared with the recommendations of Plan Hamilton.

In Plan Hamilton's Future Land Use Plan, this area is designated as Urban Mixed Use, which includes a mix of residential, commercial and light industrial uses.

Section D: Staff Basis / Comments

Planning Staff has determined that the proposed use meets all of the above listed requirements. The proposed Auto Repair Business aligns with the Plan Hamilton Land Use Map for this area.

Section E: Notification

Notices were sent to 75 property owners within 500 feet of the subject property. As of the printing of this report, we have had no responses.

Section F: Recommendation:

Planning Staff recommends that a conditional use approval is granted to allow an automotive repair business to operate at 1000, & 1001 Fairview Avenue and the property at 1015 Symmes Avenue shall be used as parking for the same business with the following 13 conditions:

Section G: Conditions of Approval:

1. The proposed fence around the parking area will be setback a minimum of ten (10) feet from the Zimmerman Avenue and Symmes Avenue right-of-way lines.
2. The proposed fence around the parking area will be setback a minimum five (5) feet from the edge of the alley and side property lines.

Report continued on the next page





3. The setback areas outside the fence along the Zimmerman Avenue and Symmes Avenue right of ways shall be landscaped with a minimum of one (1) tree every 30 linear feet or portion thereof. For every required tree a corresponding number of plantings or trees, from either a, b, or c will be required for each site plan:
 - a) Bushes: three Per Required Tree
 - b) Flowering Perennials Plants: 6 per Required Tree
 - c) Trees: one Per Required Tree
4. The landscape plans shall be amended to comply with the recommendations of the City Arborist.
5. The fenced parking area will have a solid evergreen hedge a minimum of 4-feet in height along the east side of the fence between the parking area and the residential buildings there.
6. All repairs or services shall be performed within an enclosed building.
7. No junk, inoperative or unlicensed vehicles, except for those awaiting repair, shall be permitted outside of any building. Vehicles awaiting repair may not be stored on the lot for more than 30 days.
8. Used or discarded motor vehicle fluids, tires, batteries, parts or equipment, shall be stored inside a building and disposed of in accordance with state and federal regulations
9. No vehicles shall be kept on the property for salvaging of parts and equipment to repair other vehicles.
10. Vehicular access drives shall be limited to no more than one (1) access drive per street frontage, unless otherwise approved by the City Traffic Engineer.
11. Trash/Recycling containers shall be kept behind the principal structure, enclosed by an opaque fence or wall with a minimum height of six (6) feet.
12. No outdoor storage of any material or waste shall be permitted on site.
13. If at any time these and any other conditions of approval are not maintained in compliance a notice of violation will be sent to the applicant of record providing 30 days to achieve compliance or be subject to the Penalties listed in in Section 1186.00 HZO.

Section G: Attachments

The following attachments are listed in chronological order as they appear in the report.

- 1) **Exhibit A – Proposal Plans**
- 2) **Exhibit B - Location Map**

Report continued on the next page





- 3) **Exhibit C – Zoning Map**
- 4) **Exhibit D – Notice of Public Hearing Letter**
- 5) **Exhibit E – Recommended Conditions of Approval**

Report continued on the next page



ORDINANCE NO. _____

AN ORDINANCE APPROVING A REQUEST FOR A CONDITIONAL USE CERTIFICATE TO OPERATE AN AUTOMOTIVE REPAIR BUSINESS, AT 1000 & 1001 FAIRVIEW AVENUE AND 1015 SYMMES AVENUE, PROPERTY ZONED "I-2" (INDUSTRIAL) ZONING DISTRICT, SITUATED IN THE SIXTH WARD, CITY OF HAMILTON, OHIO.

WHEREAS, the Administration of the City of Hamilton, Ohio received an application for a Conditional Use request allowing Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue; and

WHEREAS, 1124.39.5, Major Auto Repair, of the Hamilton Zoning Ordinance requires a Conditional Use Approval for automotive repair in the I-2 (Industrial) Zoning District; and

WHEREAS, Section 1155.00, Conditional Uses – Application and Review, General Standards, of the Hamilton Zoning Ordinance requires that Conditional Uses to be reviewed by the Planning Commission and a recommendation forwarded to City Council; and

WHEREAS, the Planning Department notified all of the owners of property located within five hundred (500) feet of the area in question of a public hearing request for a conditional use to operate a Major Automotive Repair Business, at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, (Parcel Numbers: P6461045000046, P6461045000036, and P6461045000023, P6461045000024, & P6461045000025), property situated in the "I-2" (Industrial) zoning district, held at the Hamilton Planning Commission meeting of May 7, 2020; and

WHEREAS, the City Planning Commission held a public meeting, considered the conditional use request, site plan, written information provided by the applicant, findings, and the Conditional Use Review Criteria – General Standards, the Planning Commission; and

WHEREAS, Planning Commission recommended that City Council approve the request to allow Mr. Ihab Kaldas to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue zoned "I-2" (Industrial) District as referenced in Exhibit No. 1 as proposed and with the conditions as listed in Exhibit No. 2, situated in The City of Hamilton, Butler County, Ohio, Sixth Ward, North Side;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council accepts the recommendation of the Planning Commission and hereby approves the request to establish a Conditional Use to operate to operate a Major Automotive Repair Business at 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue, (Parcel Numbers: P6461045000046, P6461045000036, and P6461045000023, P6461045000024 & P6461045000025) property zoned "I-2", (Industrial) Zoning District, situated in the Sixth Ward, City of Hamilton, Butler County, Ohio as indicated in Exhibit No.1, subject to the conditions of approval outlined and incorporated herein as in Exhibit No. 2; for the following rationale:

1. The proposed Conditional Use will be harmonious with the existing character of the general vicinity, and such use will not change the essential character of the same area.
2. The aesthetic and safety improvements proposed and recommended in the conditions are consistent with our auto use regulations. Furthermore, the conditions are also comparable to the conditions recommended for other recent auto use projects.
3. The proposed use is adequately served by essential public facilities and services such as, but not limited to, roads, public safety forces, storm water facilities, water, sanitary sewer, refuse, and schools.
4. The proposed use is not hazardous to nor will it have a negative impact on existing or future neighboring uses.

Ordinance No. _____ (Cont'd)

5. The proposed use does not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
6. The proposed site improvements, including aesthetic building enhancements, added landscaping, and reduced curb cuts, are an important improvement according to Plan Hamilton because this area is predominantly residential.

SECTION II: This ordinance shall take effect and be in full force from and after the earliest period allowed by law after its passage.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

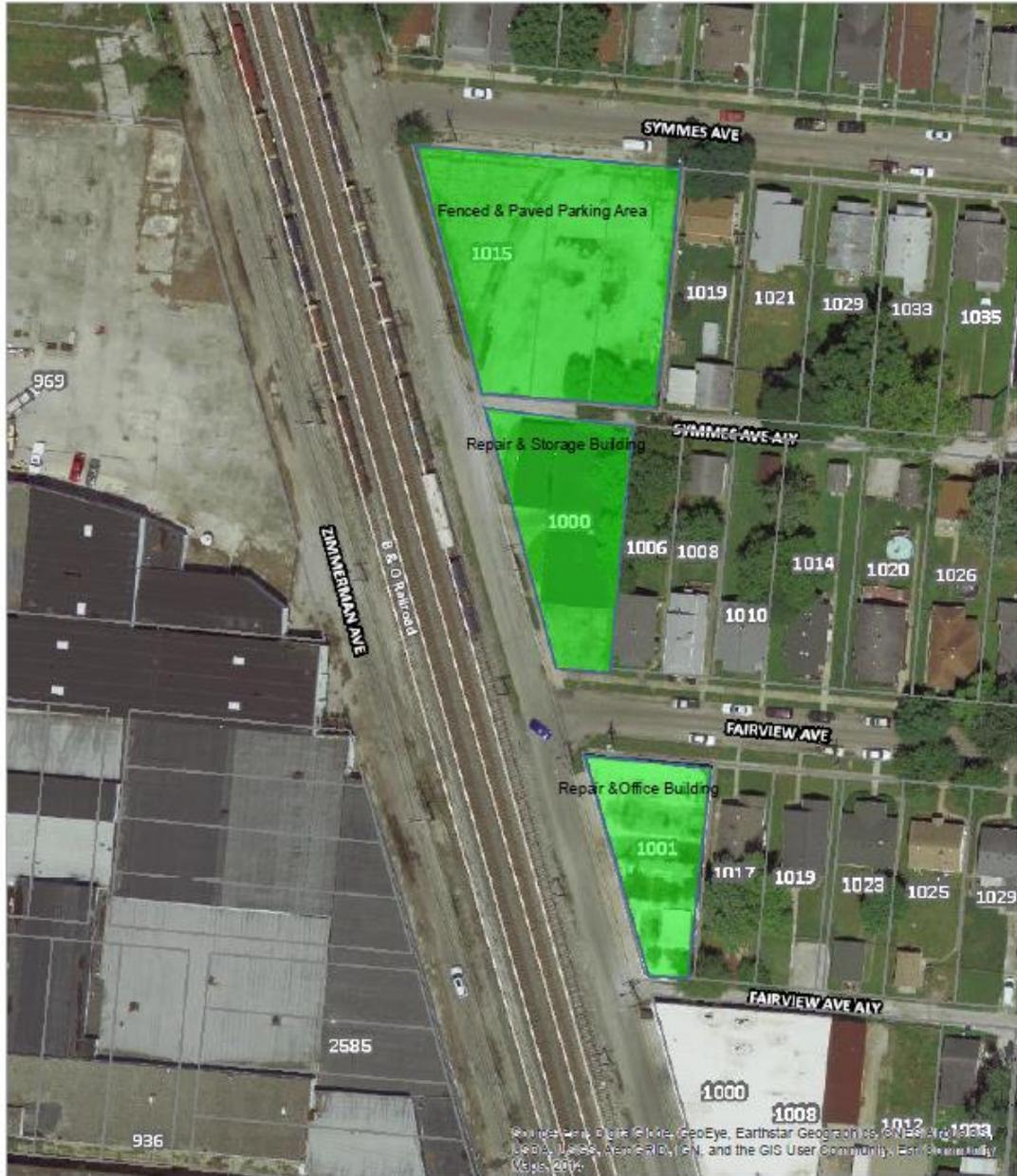
City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

EXHIBIT NO.1



1000, 1001 Fairview & 1015 Symme city of Hamilton BUTLER COUNTY OHIO

Areas: Overlay
Site Address Points

Date: 4/23/2020 The information contained in this map is for public use only. It is not intended for use as a legal document. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and disclaims any liability for its use. The information is provided as is and is not intended for use as a legal document. 1 inch = 94 feet

Ordinance No. _____ (Cont'd)

EXHIBIT NO. 2

Conditions of Approval for 1000 & 1001 Fairview Avenue and 1015 Symmes Avenue

1. The proposed fence around the parking area will be setback a minimum of ten (10) feet from the Zimmerman Avenue and Symmes Avenue right-of-way lines.
2. The proposed fence around the parking area will be setback a minimum five (5) feet from the edge of the alley and side property lines.
3. The proposed fence will be black vinyl coated chain-link fence with a maximum height of six (6) feet. There will be no barbed or razor wire on the fence.
4. The setback areas outside the fence along the Zimmerman Avenue and Symmes Avenue right of ways shall be landscaped with a minimum of one (1) tree every thirty (30) linear feet or portion thereof. For every required tree a corresponding number of plantings or trees, from either a, b, or c will be required for each site plan:
 - a) Bushes: Three (3) Per Required Tree
 - b) Flowering Perennials Plants: Six (6) Per Required Tree
 - c) Trees: One (1) Per Required Tree
5. The landscape plans shall be amended to comply with the recommendations of the City Arborist.
6. The fenced parking area will have a solid evergreen hedge a minimum of four (4) feet in height along the east side of the fence between the parking area and the existing residential buildings.
7. All repairs or services shall be performed within an enclosed building.
8. No junk, inoperative or unlicensed vehicles, except for those awaiting repair, shall be permitted outside of any building. Vehicles awaiting repair may not be stored on the lot for more than thirty (30) days.
9. Used or discarded motor vehicle fluids, tires, batteries, parts or equipment, shall be stored inside a building and disposed of in accordance with state and federal regulations
10. No vehicles shall be kept on the property for salvaging of parts and equipment to repair other vehicles.
11. Vehicular access drives shall be limited to no more than one (1) access drive per street frontage, unless otherwise approved by the City Traffic Engineer.
12. Lighting of the parking lot, shall be oriented so as not to project more than one (1) foot candle of light beyond the property lines
13. Trash/Recycling containers shall be kept behind the principal structure, enclosed by an opaque fence or wall with a minimum height of six (6) feet.
14. No outdoor storage of any material or waste shall be permitted on site.
15. All improvements will be in place before the business commences operation.

Ordinance No. _____ (Cont'd)

16. If at any time these and any other conditions of approval are not maintained in compliance a notice of violation will be sent to the applicant of record providing thirty (30) days to achieve compliance or be subject to the Penalties listed in in Section1186.00 (Violation and Penalty) of the Hamilton Zoning Ordinance.

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Ed Wilson, AICP Associate Planner II

Agenda Item: An ordinance approving the final plat for Hickory Woods, Block “D” Subdivision, located at 1 East Persimmon Drive, situated in the First Ward, South Side, of the City of Hamilton, Butler County, Ohio. (David P. Long of Alum Cliff Industries, LLC., Property Owner).

Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	Related Strategic Goal(s) <input checked="" type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
Ordinance or Resolution <i>Ordinance</i>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i>	City Council (or other): 5-27-2020 Caucus Report City Council Meeting Planning Commission Meeting: 5-21-2020	
Contract	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
Fiscal Impact	Budgeted: \$500.00 Expenditure: \$500.00 Source Funds:	<i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i>

Policy Issue

Does City Council wish to accept the Final Plat for Hickory Woods, Block “D” Subdivision, located at 1 East Persimmon Drive, situated in the First Ward, South Side, Hamilton, Ohio?

Policy Alternative(s)

Council may choose not to adopt such legislation to accept the Final Plat for Hickory Woods, Block “D” Subdivision.

Staff Recommendation

Staff recommends that Council receives this report, concurs in the recommendation of the Planning Commission and adopts the necessary legislation to approve and accept the Final Plat for Hickory Woods, Block “D” Subdivision.

This recommendation is based on the Planning Commission’s recommendation that City Council approve both requests from its May 21, 2020 meeting.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Chapter 1191, Procedure for Plat Approval, of the City of Hamilton Codified Ordinances

Fiscal Impact Summary

The City's current fiscal impact includes any staff time allotted to working with the applicant and the preparation of the documentation for the Final Plat for Hickory Woods, Block "D", Subdivision, estimated at approximately \$500.00.

Background Information

The submitted application pertains to a Final Plat for Hickory Woods, Block D, Subdivision. Hickory Woods Subdivision is located on Hickory Woods Drive, off Millville Avenue in Hamilton, zoned RPD (Residential Planned Development). Hickory Woods Subdivision currently consists of fifty-five (55) single-family residential lots, featuring one-story ranch style homes, and one unplatted, vacant lot at 1 East Persimmon Drive (6.37 acres), the subject area pertaining to the proposed Block D Final Plat. The majority of the single-family lots are accessible via private drives, including an incomplete West Persimmon Drive and East Persimmon Drive that terminates into the undeveloped portion of the subdivision.

- On March 21, 2019, the Planning Commission approved the amendment the Hickory Woods Development Plan to allow Hickory Woods, Block D, and recommended approval of the Preliminary Plat for Block D.
- On April 21, 2019, City Council accepted the Planning Commission's recommendation and accepted the Preliminary Plat.

The Final Plat is the last step in the subdivision process for the acceptance of streets as right-of-way and the subdividing of vacant, unplatted land as buildable lots. After a recommendation from Planning Commission, the City Council takes final action on Final Plat requests. The proposed plat is for the subdivision of nineteen (19) new buildable lots on the remaining un-platted, vacant land within the Hickory Woods Subdivision. Hickory Woods is a Planned Development community originally approved in the early 1990's. If approved, the development would be the final phase of development within the subdivision.

Current Application:

The current application for review is for the Final Plat of Hickory Woods Block D.

The overall submitted Final Plat indicates the following:

1. Subdivision of the 6.37 acres, vacant, unplatted site into nineteen (19) buildable lots.
2. The Lot Characteristics of each new buildable lot are as follows:
 - a. Lots #1-12 and Lots #15-21
 - b. Lot Size: 7,446 square feet minimum
 - c. Lot Width: 60 feet minimum
 - d. Setbacks:
 - 1) 15 feet front yard setback
 - 2) 10 feet rear yard setback
 - 3) 5 feet side yard setback
 - e. Proposed landscaping: one (1) tree planted per single-family residential lot, located in the front yard. 2.5" caliper tree, per HOA requirements and city specifications.
3. Per the approved amended plan and preliminary plat, the Architectural Characteristics of the nineteen (19) detached Single-Family Homes:



4. One (1) non-buildable lot, identified as Lot 32310, will be conveyed and combined with an adjacent parcel owned by the Home Owner Association (HOA). This parcel is currently an open space parcel occupied by a retention pond.
5. Stormwater utilities will be privately maintained. These and all utilities have been installed.

Conservation and Landscaping

Submitted Final Plat indicates the following:

1. Natural conservation of the existing trees located in the rear of all proposed lots
2. Provision of a conservation easement of 2.1 Acres to protect the existing wooded areas, along the rear of lots 1-12. This is the easternmost part of the subject area.
3. Provision of one (1) tree in the front yard area of each lot.

Off-Street Parking, Access Controls, & Easements

The submitted Final Plat indicates the following:

1. Extension of East Persimmon Drive, a private street, 633.29 feet of street length in manner that will connect East Persimmon Drive to West Persimmon Drive as a “loop.”
2. Vehicular access to the proposed 19 lots is from the extension of East Persimmon Drive, and the resulting loop of West Persimmon & East Persimmon Drive.
3. The extension of Persimmon Drive is 22 feet wide and contains a 30 feet wide ingress/egress easement.
4. The proposed utility easement includes two (2) 10 feet wide easements that parallel (follow) the course of the proposed East Persimmon Drive on opposite sides of the proposed drive.
5. The final course of paving of East Persimmon Drive has been completed.

The Planning Commission reviewed and approved the Preliminary Plat for this subdivision on March 19, 2019. The Planning Department finds the proposed Final Plat to be consistent with the approved Preliminary Plat of the subdivision that was approved by the Planning Commission.

Interdepartmental Review

The City’s Interdepartmental Review Committee evaluated the Hickory Woods, Block D, Final Plat. There were no objections to the Final Plat.

Planning Commission Recommendation

The Planning Commission recommended to City Council approval of the Final Plat with the following motion:

1. That the Planning Commission recommends that City Council approve the Final Plat for Hickory Woods, Block D, subdivision, with the recommended conditions of approval.

The recommendation for approval is subject to the following conditions of approval.

Please note that these conditions are consistent with the conditions associated with the Amended Planned



Development approval allowing Hickory Woods Block D.

Conditions of Approval:

- 1) Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
- 2) Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan and Final Plat.
- 3) Existing trees shall remain and a conservation easement shall be established and maintained as indicated on the submitted site plan.
- 4) All proposed landscaping items shall be reviewed and approved by the City of Hamilton Municipal Arborist.
- 5) All proposed landscaping item sizes to conform to the minimum size requirements found in Section 1111.20 of the Hamilton Zoning Ordinance. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6') feet in height, shrubs/bushes minimum of 12 inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
- 6) The building materials for siding of the front façade shall be at least 50% masonry and/or brick.
- 7) That all new single-family homes have a minimum size of 1,450 square feet.
- 8) That all new single-family homes have an attached garage with a minimum size of 400 square feet.
- 9) That no more than 40 inches of concrete foundation shall be exposed, unless in conjunction with a walk-out basement.

City Staff Basis / Comments

Staff provided the following basis / comments for recommending approval of both the alley vacation and final plat:

1. The proposed development encourages imaginative, superior, design and function in developments through the creative use of land featuring a hilly topography, which prohibit it from being developed at a higher density or different configuration.
2. The proposed development provides an alternative procedure for the development of land to allow for more efficient and economical development of property than customarily permitted by conventional zoning and subdivision regulations.
3. The Hickory Woods, Block D subdivision has been through substantial planning and review procedures to facilitate a higher quality design and development. The applicant has met with City staff several times to incorporate comments and input from all City departments to produce a plan that will be compliant with respect to City requirements.
4. The proposed plan and plat encourages the conservation of natural amenities of the landscape through the establishment of a conservation easement, and retention of existing trees in the development area, at the south, east, and northern boundaries. In doing so, the applicant is able to preserve a majority of the flora and fauna that currently existing on the site.



5. The proposed development properly integrates with the overall character and unique form of the Hickory Woods subdivision and is compatible with the existing development on the site in question.
6. The submitted plans connect East Persimmon Drive with West Persimmon Drive creating a “loop” which brings both streets into compliance with codes pertaining to access for Emergency Response Vehicles.

Attached Information

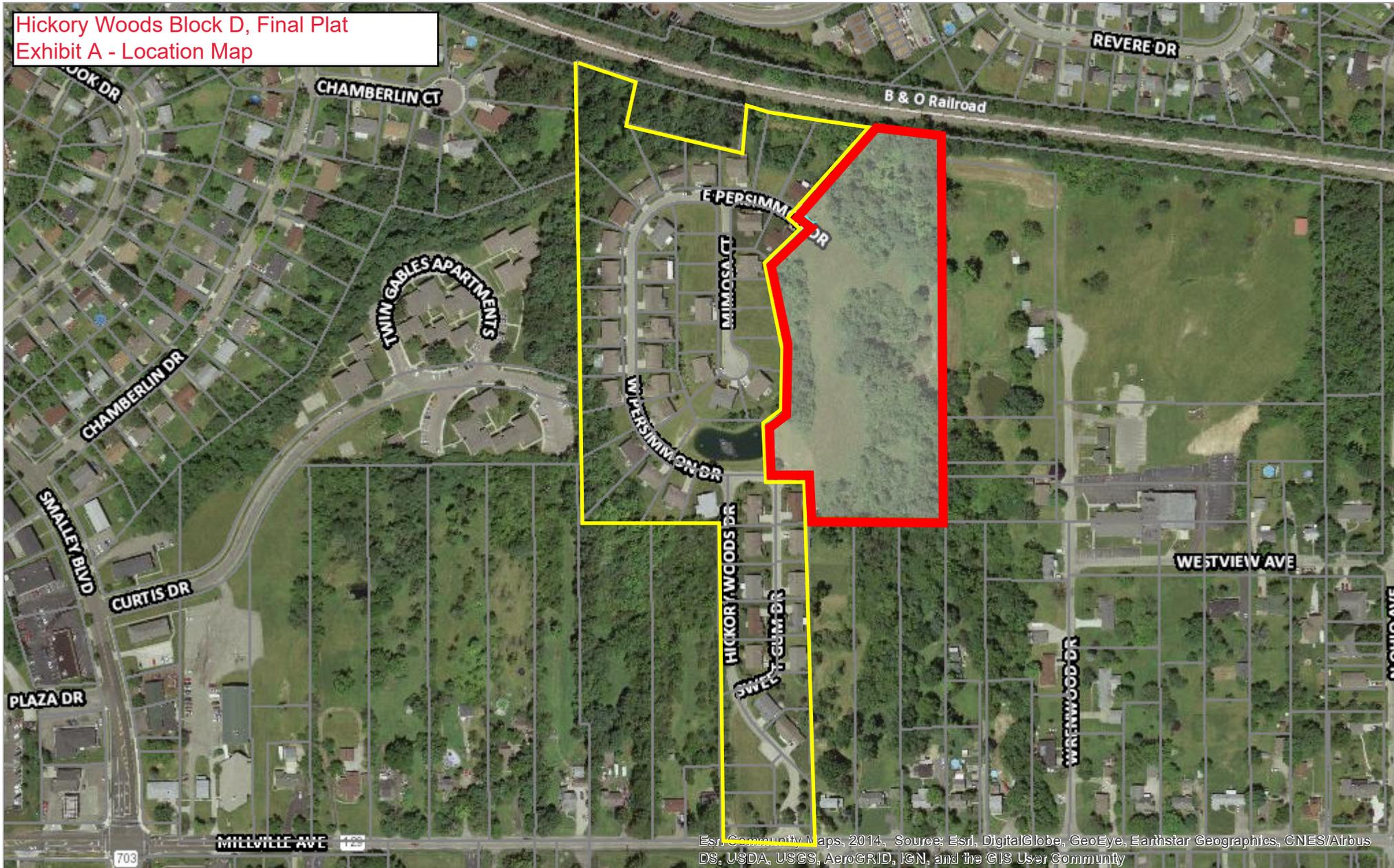
1. Exhibit A – Location Map
2. Exhibit B – Final Plat for Hickory Woods, Block D, Subdivision
3. Exhibit C – Photos of Site and Hickory Woods Subdivision for reference
4. Exhibit D – Approved Amended Plan & Preliminary Plat for Hickory Woods, Block D from March 2019.
5. Exhibit E – Planning Commission Staff Report, May 21, 2020
6. Exhibit F – Recommended Conditions of Approval

Copies Provided to:

N/A



Hickory Woods Block D, Final Plat
Exhibit A - Location Map



Esri, Community Maps, 2014. Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and The GIS User Community



-  Proposed: Hickory Woods Block D (red)
-  Existing Hickory Woods (yellow)

Hickory Woods, Block D



DEDICATION

THAT THE UNDERSIGNED, BEING THE OWNERS OF 6.3727 ACRES OF LAND, BEING ALL OF PT LOT 25218 IN THE FIRST WARD, CITY OF HAMILTON, BUTLER COUNTY, OHIO AS DESCRIBED IN DEED BOOK 9253, PG. 552 DO RESPECTIVELY HEREBY ASSENT TO AND ADOPT THIS PLAT OF SUBDIVISION, THE SAME TO BE KNOWN AS HICKORY WOODS BLOCK "D"

THE STREETS IN SAID SUBDIVISION SHALL BE CONSTRUCTED BY THEIR SUBDIVIDER IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN ON THE APPROVED PLANS, WITH THE DRAINAGE STRUCTURES INSTALLED IN ACCORDANCE WITH THE PLANS APPROVED AND ON FILE IN THE OFFICE OF THE CITY ENGINEER. STREET SIGNS AND MONUMENTS SHALL BE PLACED BY THE SUBDIVIDER AS REQUIRED BY THE CITY. BASE COURSE AND STREET PAVEMENT SHALL MEET CITY SPECIFICATIONS AND ALL STREETS SHALL BE SURFACED WITH A 3" THICK COURSE OF COMPACTED ASPHALTIC CONCRETE PAVEMENT 5" THICK COURSE OF BITUMINOUS AGGREGATE BASE. ALL STREETS AND STORM DRAINAGE SYSTEM INCLUDING THE DETENTION BASIN SHALL BE PRIVATE AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OF THE HICKORY WOODS SUBDIVISION.

FOR VALUABLE CONSIDERATION, WE THE UNDERSIGNED DO HEREBY PERMANENTLY GRANT TO THE CITY OF HAMILTON, FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS AND SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "UTILITY EASEMENT" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF WATER, GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS, OR OTHER UTILITIES INCLUDING THE INSTALLATION OF NECESSARY ATTACHMENTS THERETO; AND FOR THE CONSTRUCTION AND MAINTENANCE OF SANITARY SEWER DRAINS, PIPELINES AND NECESSARY LATERAL CONNECTIONS.

SAID GRANTEEES SHALL HAVE THE RIGHT TO INGRESS AND EGRESS FROM AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH OR OVERHANGING BRANCHES WITHIN SAID EASEMENT.

NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO 1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; 2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; 3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR 4) CREATE A HAZARD. WE ACKNOWLEDGE HAVING FULL POWER TO CONVEY THESE EASEMENTS AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

ACKNOWLEDGMENT

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE HEREUNTO SET THEIR HAND AND SEAL ON THIS _____ DAY OF _____, 20____

WITNESS _____ DAVID P. LONG, ALUM CLIFF INDUSTRIES

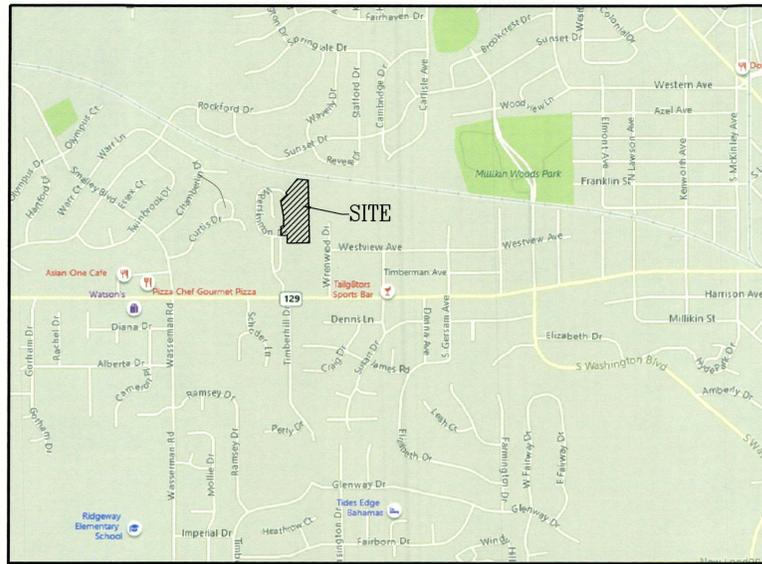
STATE OF OHIO _____ COUNTY, SS;

BE IT KNOWN THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME DAVID P. LONG, OF ALUM CLIFF INDUSTRIES WHO ACKNOWLEDGED THE SIGNING THEREOF TO BE HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN MENTIONED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC, BUTLER CO., OHIO _____ MY COMMISSION EXPIRES _____

HICKORY WOODS SUBDIVISION BLOCK "D"

CONGRESS LANDS WEST OF MIAMI RIVER SECTION 25, TOWN 4, RANGE 2E FIRST WARD, CITY OF HAMILTON BUTLER COUNTY, OHIO



VICINITY MAP
NOT TO SCALE

LOT CONFIGURATION NOTE

ANY LOT TRANSFERRED WILL HAVE A MINIMUM WIDTH AND AREA SUBSTANTIALLY THE SAME AS THOSE SHOWN ON THE ACCOMPANYING PLAT AND ONLY ONE PRINCIPAL BUILDING WILL BE PERMITTED ON ANY SUCH LOT. ANY FUTURE SPLITTING OF ANY LOT THAT RESULTS IN ANY ADDITIONAL BUILDING SITE BEING CREATED SHALL BE BY REPLAT ONLY.

HOMEOWNERS ASSOCIATION NOTE

ALL LOTS SHOWN ON THE ACCOMPANYING PLAT SHALL BE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATIONS OF THE EASEMENTS FOR HICKORY HOMEOWNERS ASSOCIATIONS, INC. AS SET FORTH IN THE OFFICIAL RECORDS VOLUME 5206, PAGE 653, OF THE BUTLER COUNTY, OHIO RECORDS, WHICH COVENANTS AND PROVISIONS ARE HEREBY MADE A PART OF THE DEED OF SUBDIVISION AS IF FULLY REWRITTEN HEREIN

STORM SEWER NOTE

ALL PROPOSED STORM SEWER FACILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

DEED REFERENCE

SITUATED IN THE FIRST WARD, CITY OF HAMILTON, BUTLER COUNTY, OHIO, CONTAINING 6.3728 ACRES, BEING PART OF LOT 25218 AND ALL OF A 6.3727 ACRE TRACT AS CONVEYED TO ALUM CLIFF INDUSTRIES AS DESCRIBED IN OFFICIAL RECORD BOOK 7640, PAGE 235, BUTLER COUNTY, OHIO DEED RECORDS.

OWNER/DEVELOPER

ALUM CLIFF INDUSTRIES
510 OXFORD STATE ROAD #A
MIDDLETOWN, OHIO 45044
(513) 422-7876

A CURRENT TITLE EXAMINATION/REPORT IS NECESSARY TO DETERMINE ANY ADDITIONAL EASEMENTS, RESTRICTIONS, COVENANTS, CONDITIONS OR ENCUMBRANCES WHICH MAY AFFECT THE LANDS HEREIN PLATTED.

Hickory Woods Block D, Final Plat
Exhibit B - Final Plat Drawing

CITY COUNCIL

APPROVAL OF THE CITY COUNCIL OF THE CITY OF HAMILTON, OHIO BY ORDINANCE No. _____

PASSED AT THE REGULAR MEETING OF _____

CLERK OF COUNCIL _____

MAYOR _____

PLATTING COMMISSIONER

THIS PLAT WAS APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF HAMILTON, OHIO

ON THIS _____ DAY OF _____, 20____.

COMMISSIONER _____

PLANNING COMMISSION

THIS PLAT WAS ACCEPTED BY THE PLANNING COMMISSION, OF THE CITY OF HAMILTON, OHIO

ON THIS _____ DAY OF _____, 20____.

CHAIRPERSON _____

COUNTY AUDITOR

ENTERED FOR TRANSFER THIS _____ DAY OF _____, 20____.

BY: _____
AUDITOR, BUTLER COUNTY, OHIO _____ DEPUTY

COUNTY RECORDER

FILED FOR RECORD THIS _____ DAY OF _____, 20____.

AT _____ FILE NO. _____

RECORDED THIS _____ DAY OF _____, 20____.

PLAT ENVELOPE _____ PAGES _____

FILE _____ FEE _____

RECORDER, BUTLER COUNTY, OHIO _____

DEPUTY _____



I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A FIELD SURVEY MADE UNDER MY DIRECTION. ALL MONUMENTS INDICATED THEREIN ACTUALLY EXIST OR WILL BE PLACED AT THE COMPLETION OF CONSTRUCTION AND THAT ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS HAVE BEEN FULLY COMPLIED WITH TO THE BEST OF MY ABILITY.

PAUL J. LEISRING _____ DATE _____
OHIO PROFESSIONAL SURVEYOR NO. 7267

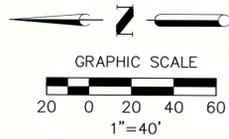
SCALE: N/A
DATE: 10-24-19
DRAWN: JLL
DESIGNED: JLL
CHECKED: _____



REVISIONS:
1. _____
2. _____
3. _____
4. _____
PROJECT: 190366 SHEET 1 OF 2
DRAWING: 190366RB

HICKORY WOODS SUBDIVISION BLOCK "D"

CONGRESS LANDS WEST OF MIAMI RIVER
SECTION 25, TOWN 4, RANGE 2E
FIRST WARD, CITY OF HAMILTON
BUTLER COUNTY, OHIO



SETBACKS

FRONT=15'
SIDE=5'
REAR=10'

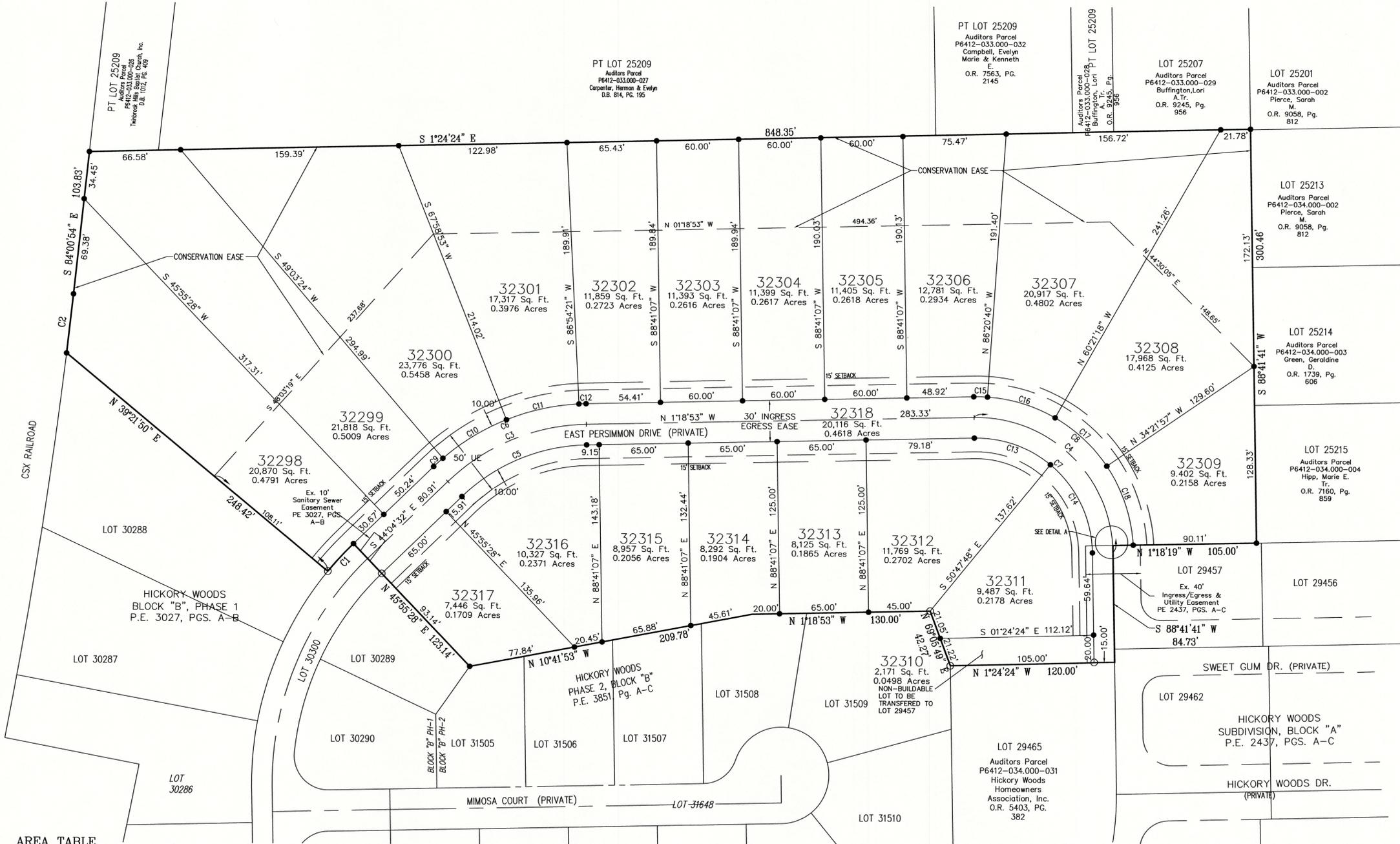
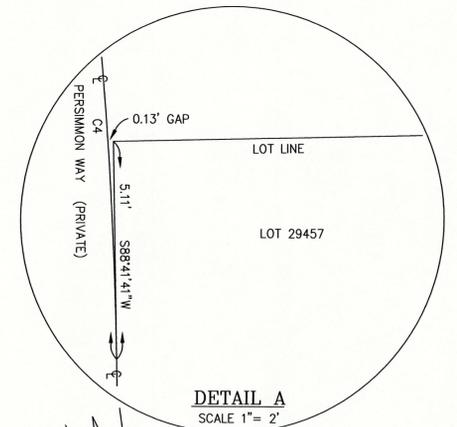
LEGEND

- ▲ -MAG NAIL SET
- + -NOTCH CUT ON CURB AT PROPERTY LINE EXTENDED REFERENCE DISTANCE NOTED
- -5/8" IRON PIN SET
- -5/8" IRON PIN FOUND OR AS NOTED
- △ -MAG NAIL FOUND
- ⚠ -RAILROAD SPIKE FOUND
- ⊙ -PIPE FOUND
- ⊗ -FENCE POST FOUND
- UE -UTILITY EASEMENT
- DE -PUBLIC DRAINAGE EASEMENT

SURVEYOR NOTES:

- 1.) OCCUPATION FITS SURVEY AS SHOWN.
- 2.) MONUMENTATION IN GOOD CONDITION.
- 3.) SOURCE DOCUMENTS AS NOTED.
- 4.) BEARINGS BASED ON BUTLER COUNTY ENGINEER'S RECORD OF LAND SURVEYS VOLUME 60, PG. 153
- 5.) DEED REFERENCE: O.R. 9253, PAGE 552.

CURVE TABLE					
CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA
C1	27.48'	240.00'	N47°21'21"W	27.47'	6°33'38"
C2	43.21'	3869.83'	S83°41'42"E	43.21'	0°38'23"
C3	111.95'	150.00'	N22°41'42"W	109.37'	42°45'39"
C4	157.10'	100.00'	N43°41'24"E	141.43'	90°00'34"
C5	100.75'	135.00'	N22°41'42"W	98.43'	42°45'39"
C6	123.14'	165.00'	N22°41'42"W	120.30'	42°45'39"
C7	133.53'	85.00'	N43°41'24"E	120.22'	90°00'34"
C8	175.55'	115.00'	N42°24'59"E	158.99'	87°27'44"
C9	9.02'	165.00'	N42°30'34"W	9.02'	3°07'56"
C10	54.50'	165.00'	N31°28'52"W	54.25'	18°55'29"
C11	54.50'	165.00'	N12°33'23"W	54.25'	18°55'29"
C12	5.12'	165.00'	N02°12'16"W	5.12'	1°46'46"
C13	60.11'	85.00'	N18°56'40"E	58.86'	40°31'05"
C14	73.42'	85.00'	N63°56'57"E	71.16'	49°29'29"
C15	9.98'	115.00'	N01°10'14"E	9.97'	4°58'13"
C16	52.16'	115.00'	N16°39'01"E	51.72'	25°59'21"
C17	52.16'	115.00'	N42°38'22"E	51.72'	25°59'21"
C18	61.24'	115.00'	N70°53'27"E	60.52'	30°30'48"





*Example of a recent residential structure
Masonry/Brick used for front facade*



*Example of first type of Hickory Woods residential structure
Vinyl sided*



***Example of first type of Hickory Woods residential structure
Vinyl sided***



***Example of a recent residential structure
Masonry/Brick used for front facade***

MAJOR CHANGE TO A RESIDENTIAL PLANNED DEVELOPMENT

HICKORY WOODS BLOCK D

SECTION 25, TOWN 4, RANGE 2E
FIRST WARD, CITY OF HAMILTON
BUTLER COUNTY, OHIO

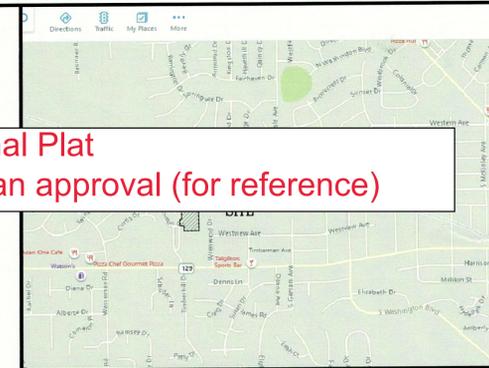
Hickory Woods Block D, Final Plat
Exhibit D - Amended PD Plan approval (for reference)

OWNER/DEVELOPER

ALUM CLIFF INDUSTRIES
510 OXFORD STATE ROAD #A
MIDDLETOWN, OHIO 45044
PH: 513-422-7876

ENGINEER/SURVEYOR

APEX ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD.
MIDDLETOWN, OHIO 45042
PH: 513-424-5202



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- PRELIMINARY PLAN 1
- PRELIMINARY LANDSCAPE PLAN 2
- PRELIMINARY STORM DRAINAGE PLAN 3

PROJECT SUMMARY

AREA: 6.3731 AC.
OPEN SPACE: 0.00 AC.
TOTAL UNITS: 19 SINGLE FAMILY DETACHED
DENSITY: 2.98 DU/AC

AREA OF MAJOR CHANGE TO RPD SUMMARY
AREA: 6.3731 AC.
TOTAL UNITS: 19 SINGLE FAMILY DETACHED
DENSITY:
GROSS: 2.98 DU/AC
NET: 3.21 DU/AC

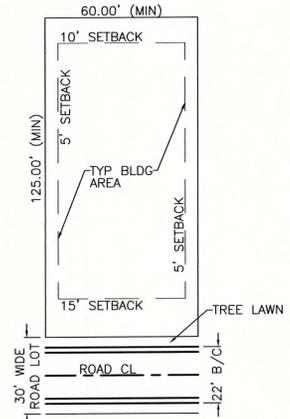
*NET DENSITY=GROSS DENSITY - PRIVATE ROAD AREA

LOT CHARACTERISTICS

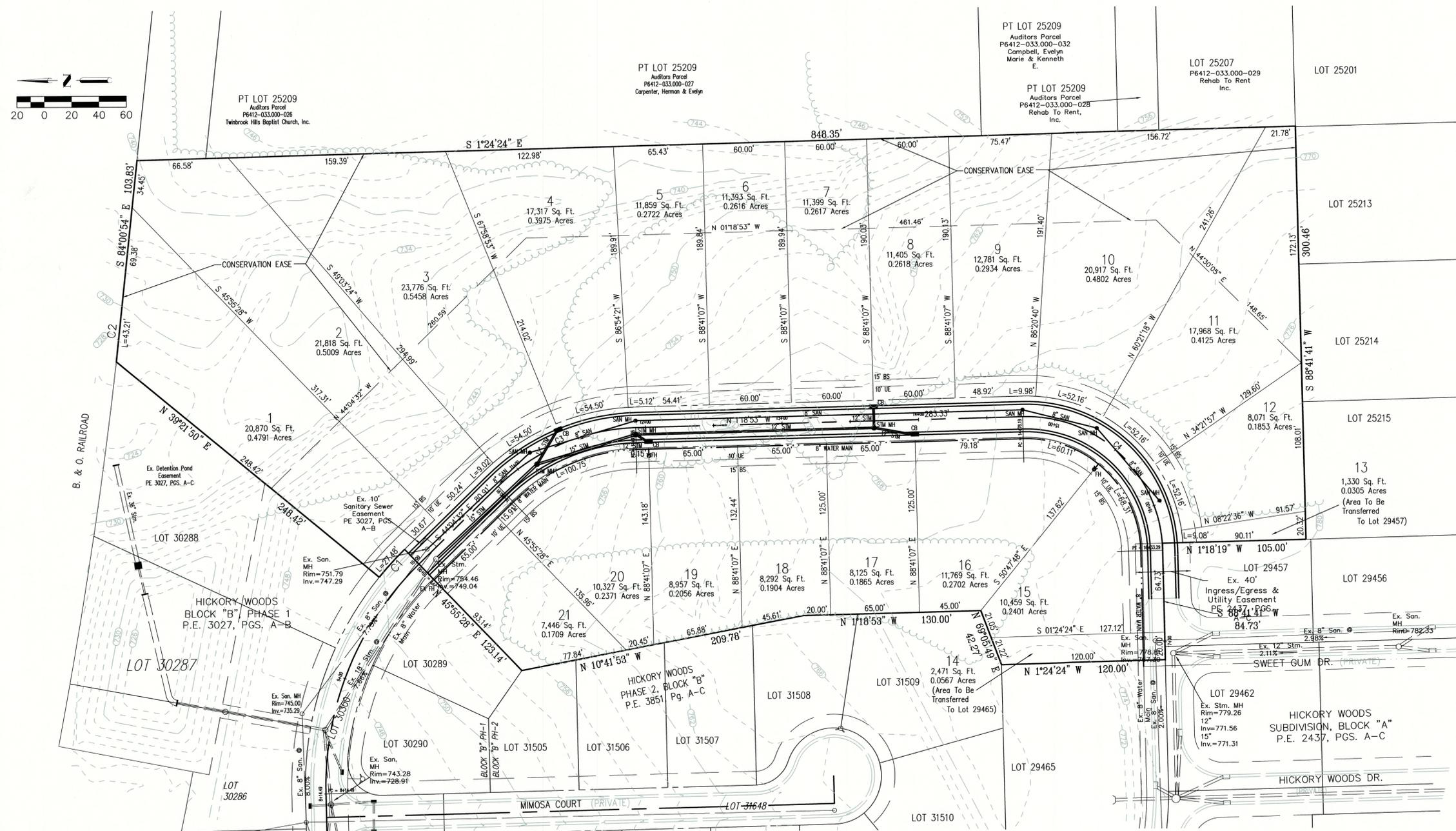
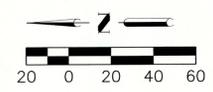
1. 60' MINIMUM WIDTH
2. 7,446 SF MINIMUM LOT AREA
3. 15' FRONT YARD SETBACK
4. 10' REAR YARD SETBACK
5. 5' SIDE YARD SETBACK

GENERAL NOTES

1. SANITARY, GAS, ELECTRIC AND WATER SERVICES TO BE CONNECTED TO THE CITY OF HAMILTON SYSTEMS
2. TELEPHONE SERVICE TO BE PROVIDED BY CINCINNATI BELL
3. CABLE SERVICE TO BE PROVIDED BY SPECTRUM
4. MINIMUM LOT WIDTH MEASURED AT THE BUILDING SETBACK LINE



TYPICAL LOT DETAIL



CURVE	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	6°33'38"	240.00'	27.48'	27.47'	N 47°21'21" W
C2	0°38'23"	3869.83'	43.21'	43.21'	S 83°41'42" E
C3	42°45'39"	150.00'	111.95'	109.37'	N 22°41'42" W
C4	90°00'34"	100.00'	157.10'	141.43'	N 43°41'24" E

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

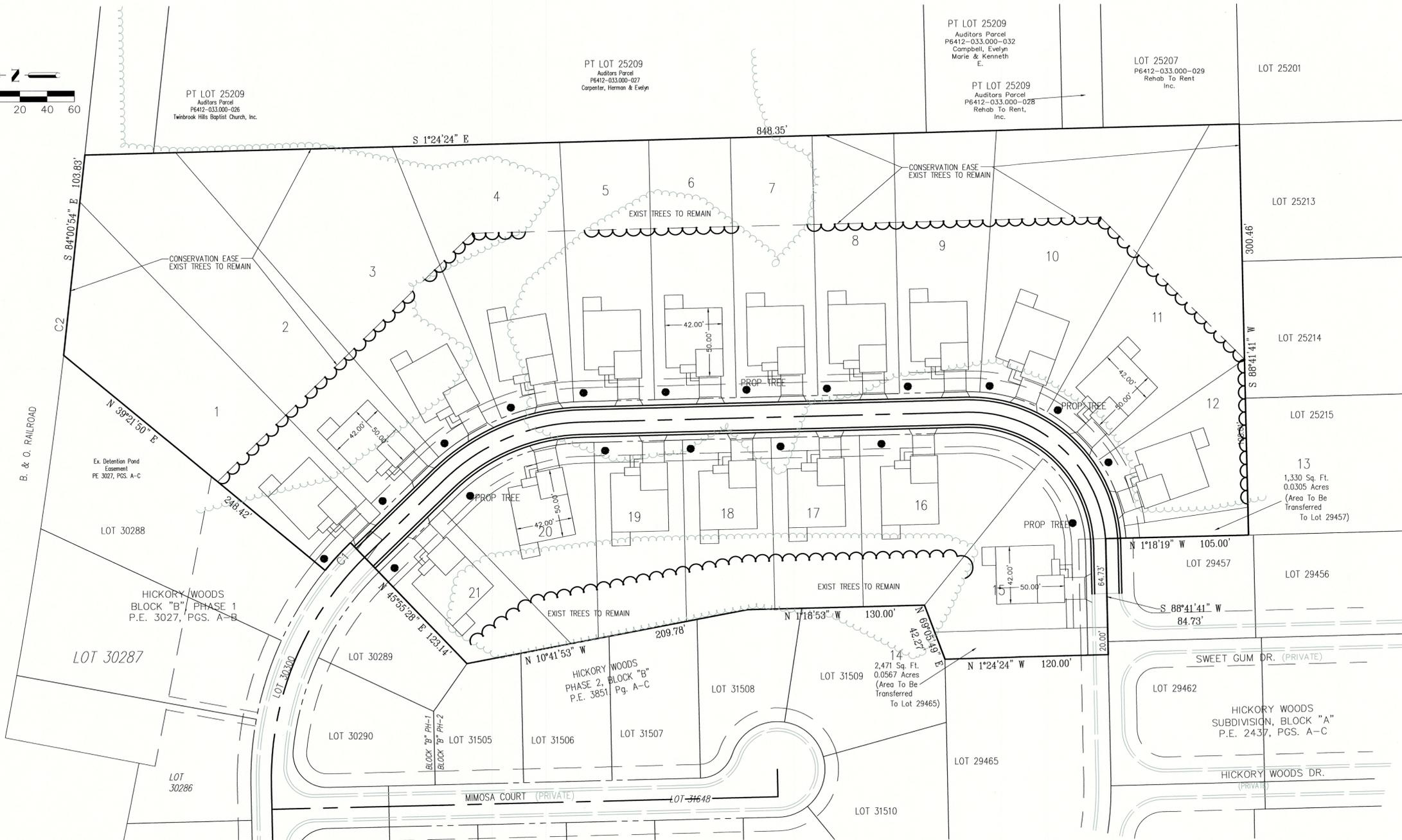
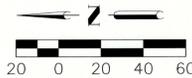
SCALE: 1"=40'
DATE: 02-27-19
DRAWN: JLL
DESIGNED: JLL
CHECKED:



REVISIONS:
1.
2.
3.
4.

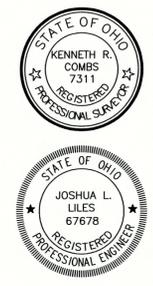
PROJECT: 190366
DRAWING: 190366BA

SHEET
1 OF 3



LANDSCAPE NOTES

1. EXISTING WOODED AREAS TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCE DURING DEVELOPMENT TO BEST PRESERVE HEALTHY TREES AND LANDSCAPE AREAS.
2. 2.1 AC. OF CONSERVATION EASEMENT IS PROPOSED TO PROTECT THE WOODED AREAS ALONG THE SOUTH, EAST, AND NORTH BOUNDARIES.
3. ONE 2.5" CALIPER TREE PER LOT PER HOA REQUIREMENTS AND CITY SPECS.
4. LIGHTPOLE LOCATIONS PER CITY SPECIFICATIONS.



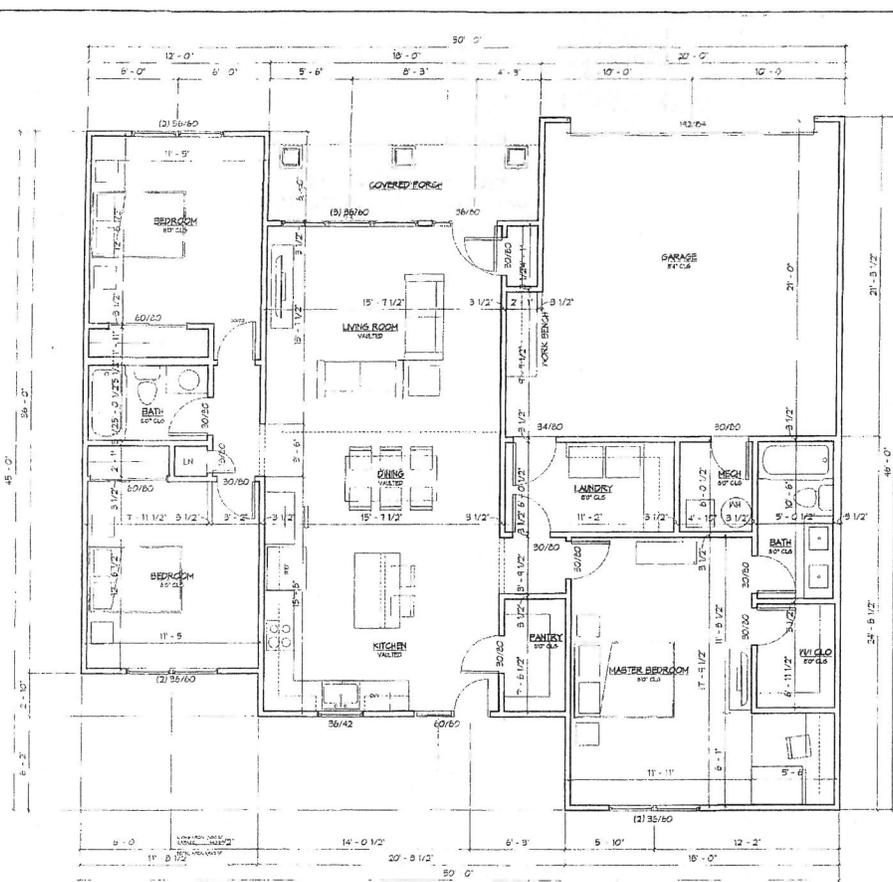
PRELIMINARY LANDSCAPE PLAN
 HICKORY WOODS BLOCK "D"
 SECTION 25, TOWN 4, RANGE 2E
 FIRST WARD, CITY OF HAMILTON
 BUTLER COUNTY, OHIO

2 WORKING DAYS
BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=40'
 DATE: 02-27-19
 DRAWN: JLL
 DESIGNED: JLL
 CHECKED:



REVISIONS:	SHEET
1.	2 OF 3
2.	
3.	
4.	
PROJECT: 190366	DRAWING: 190366A



GENERAL NOTES:

1. FLOOR LOADS
 FLOOR 40 P.S.F. LIVE LOAD 800 P.S.F. LIVE LOAD
 10 P.S.F. DEAD LOAD 10 P.S.F. ROOF LOAD
2. ATTIC ALL SOIL BEARINGS PREASURE 2000 P.S.F.
3. EXTEND ALL FOOTINGS TO FIRM FOUNDING.
4. SECTION OF JOISTING TO BE A MINIMUM OF ONE COLUMN FINISHED GRADE.
5. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 4000 P.S.F. ALL-TOP REINFORCED WITH 1/2" DIA. REBAR @ 18" ON CENTER. ALL INTERIOR SLAB REBAR SHALL BE PLACED ON A 6" DIA. POLYETHYLENE FOAM BACKER AND ALL EXTERIOR CONCRETE ON MAINFLOOR WALLS OCCURRING IN EXTERIOR OR UNGRADED INTERIOR AREAS.
6. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE NO. 2 GRADE OR BETTER. ALL JOIST, RAFTERS & FLOOR JOIST SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1600 P.S.F.
7. UNLESS OTHERWISE NOTED, PROVIDE:
 A. DOUBLE FLOOR JOISTS AND BRACKETS AT ALL FLOOR OPENINGS.
 B. CROSS BRACING PER R.F.P.R. RECOMMENDATION FOR FLOOR LOADS.
 C. FLOOR CONTINUATION 3/4" TENSILE & COMPRESSION ALUMINUM.
 FLOOR JOIST TO BE 2X8 OR 2X10 FLOOR WITH CONCRETE BOARD OVERLAP.
 D. CEILING TILE FLOOR.
 E. ALL FINISHED INTERIOR WALLS & CEILING ARE TO BE COVERED WITH Gypsum BOARD WITH 1/2" JOINT TREATMENT. TOPS, JOIST & CORNER GABLE COVER WALLS & CEILING TO BE COVERED WITH 5/8" FIRE-RATED GYPSUM BOARD.
 HANDLARK CO-ORDINATE LAMP SIKING EXTERIOR QUALITY.
8. VOOR HEADERS - NON-FINISH WALLS
 4" - 2x4 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 6" - 2x6 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 8" - 2x8 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 10" - 2x10 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 12" - 2x12 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
9. VOOR HEADERS - FINISH WALLS - ALL SPACINGS
 4" - 2x4 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 6" - 2x6 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 8" - 2x8 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 10" - 2x10 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
 12" - 2x12 @ 16" O.C. WITH 1/2" PLYWOOD BETWEEN
10. WINDOW SILL HEIGHT SHALL BE AS NOTED ON DRAWINGS.
11. EXIST SWITCHES TO BE PERMANENTLY WIRING AND INTERCONNECTED SWITCH BOXES.
12. FINISHED FLOOR SHALL BE A MINIMUM OF 1/2" ABOVE ADJACENT FINISH GRADE.

01 - PROPOSED FLOOR PLAN

CERTIFICATION

De cese

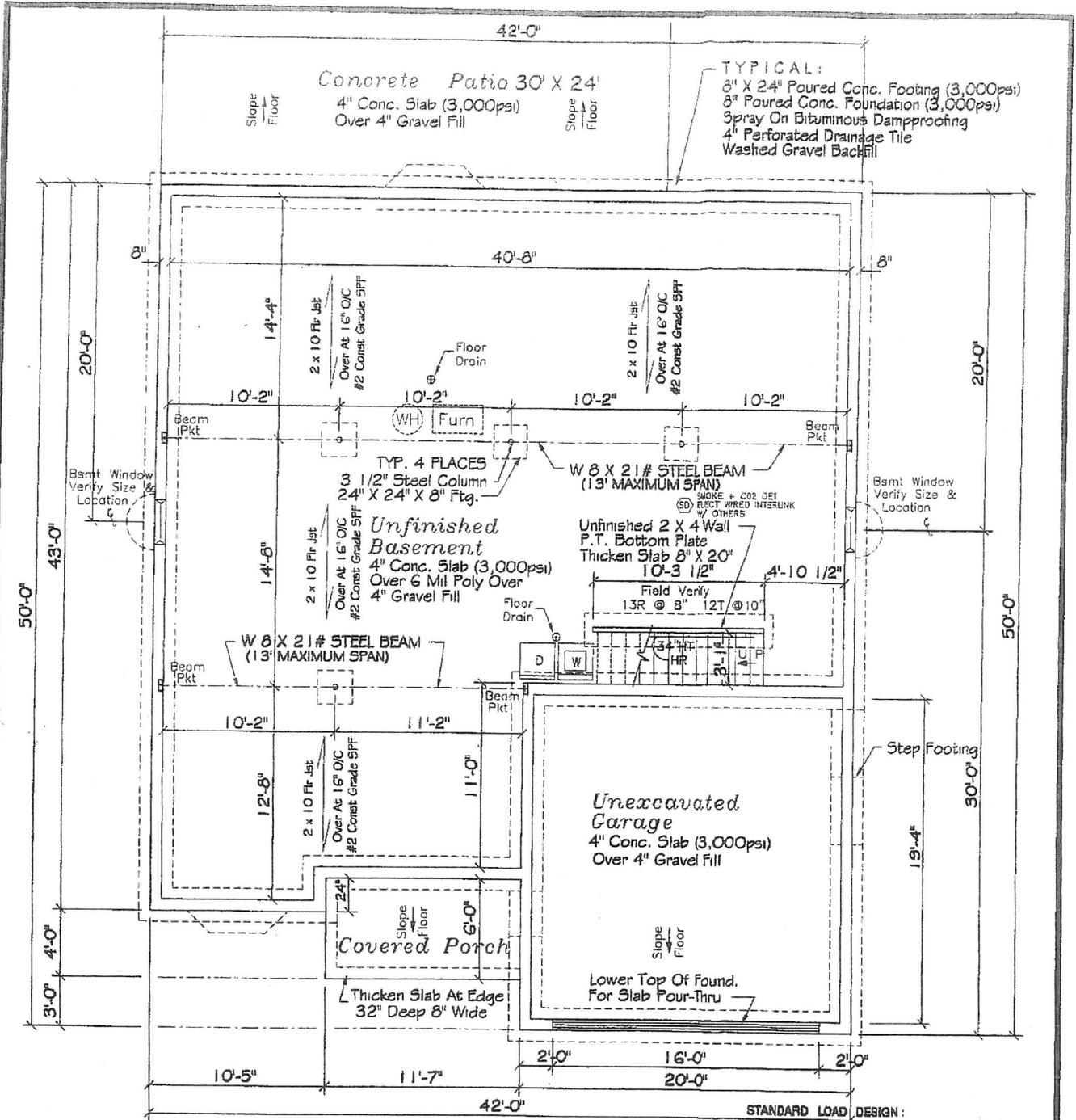
PROFESSIONAL SEAL

DATE: 11/11/11

PROJECT: DEERSEE RESIDENCE

SCALE: AS SHOWN

1:0



TYPICAL:
 8" X 24" Poured Conc. Footing (3,000psi)
 8" Paired Conc. Foundation (3,000psi)
 Spray On Bituminous Dampproofing
 4" Perforated Drainage Tile
 Washed Gravel Backfill

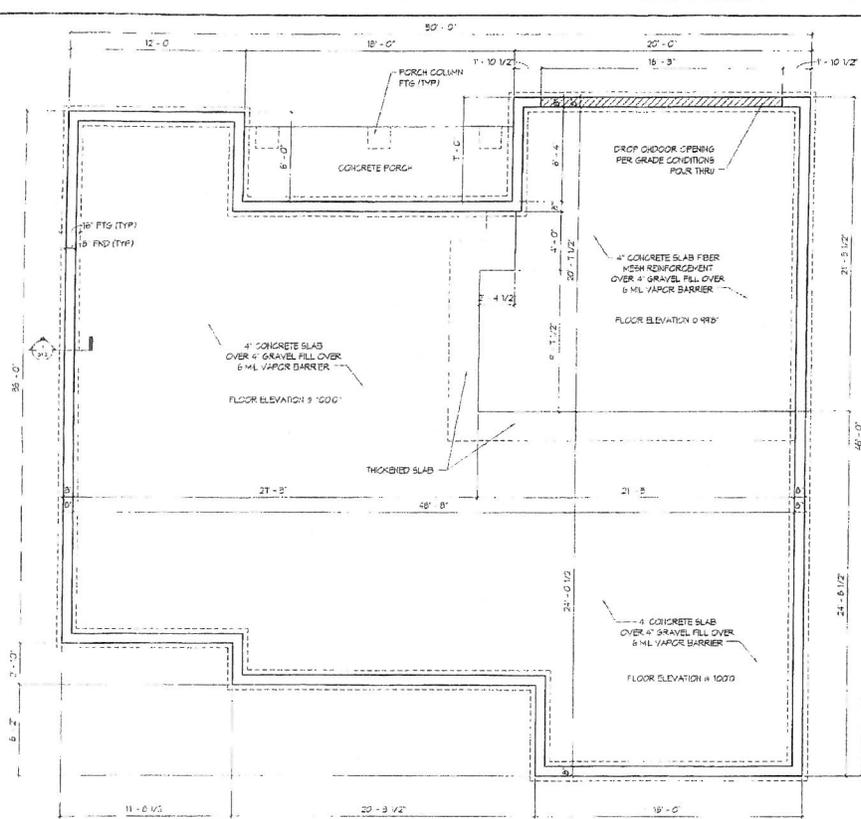
FOUNDATION PLAN
 SCALE 1/8" = 1'-0"

STANDARD LOAD DESIGN:
 FIRST FLOOR LIVING AREA
 SLEEPING AREAS
 DECKS
 ROOF TRUSSES
 STAIRS
 HANDRAIL & GUARDRAILS
 WIND LOAD
 REFLECTION FRAMING SUPPORTING DRYWALL LIMITED TO

40 PSF LL + 10 PSF DL
 30 PSF LL + 10 PSF DL
 40 PSF LL + 10 PSF DL
 25 PSF SNOW + 10 PSF DL
 40 PSF LL + 10 PSF DL
 200 PSF
 17.5 PSF = 60 MPH
 L/500

ALUM CLIFF INDUSTRIES
 510 OXFORD STATE ROAD
 MIDDLETOWN, OHIO 45044
 PHONE: (513)-422-7876 E-MAIL: dave.long@alumcliff.com

WALDEN POND
 ADDRESS: 6298 OLD MILL CT.
 HAMILTON, OHIO 45011
 FAIRFIELD TOWNSHIP, BUTLER COUNTY
 LOT #7762 WALDEN PONDS SEC 8 PARCEL I.D. A0300071000160
 DATE: DRAWN BY: PETE LINDSEY

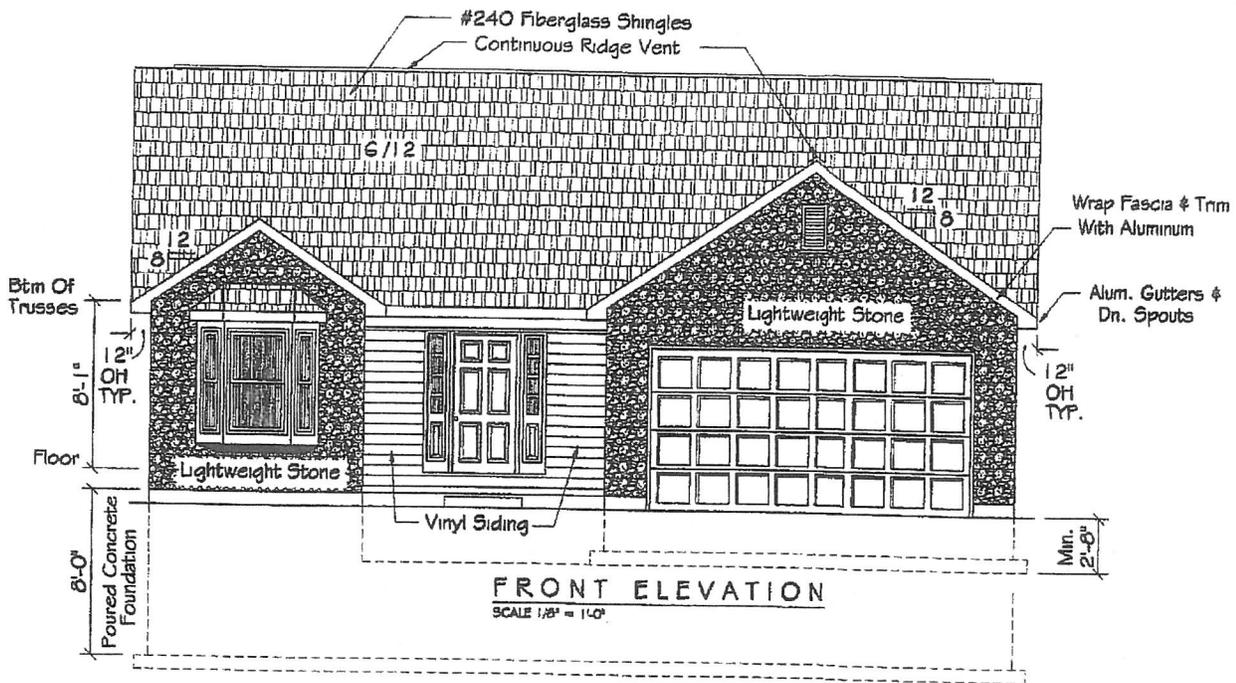
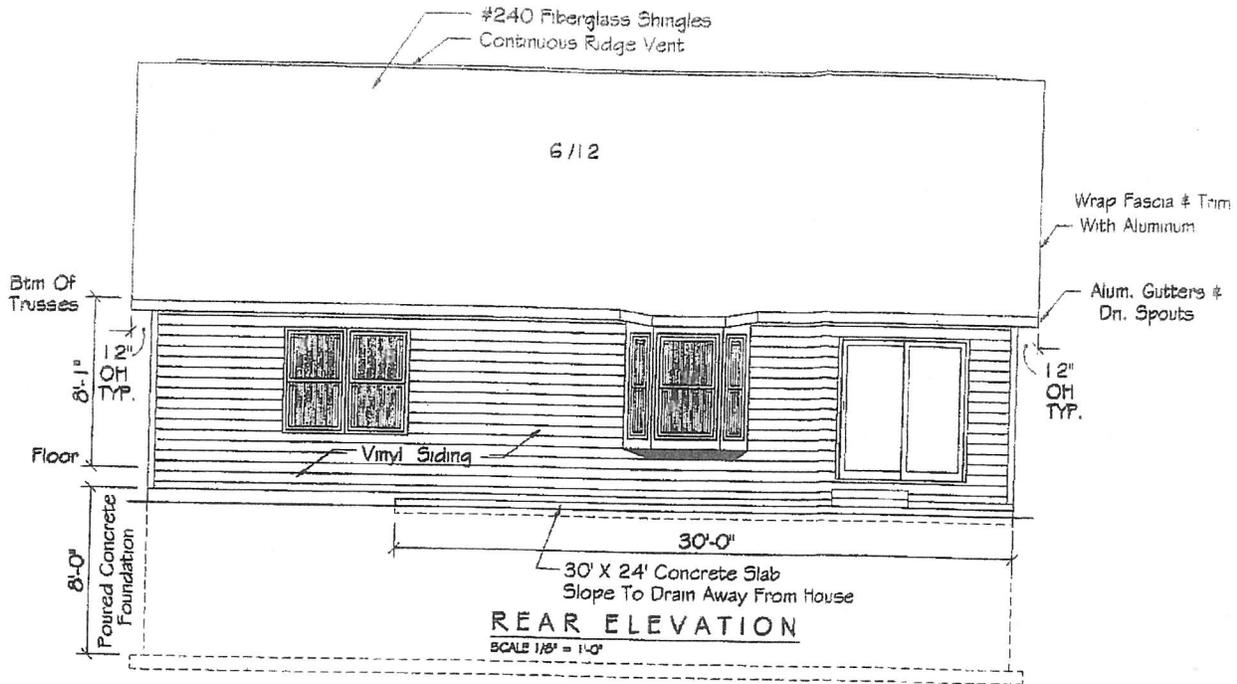


1. SOIL CONDITIONS TO BE MINIMUM OF 2500 P.C.F. VERIFY ALL UNSTABLE SOIL CONDITIONS AND COMPACT AS REQUIRED.
2. SLOPE GRADE AWAY FROM BUILDING TO PROVIDE POSITIVE DRAINAGE.
3. USE 3500 P.S.I. @ 28 DAYS CONCRETE IN SLABS AND MINIMUM OF 3500 IN FOOTERS.
4. ALL JOLE PLATES SHALL BE ANCHORED WITH 1/2" X 30" X 1/2" WASHERS 8'-0" ON CENTERS INTERMEDIATE TO FROM ENDS MAX.
5. ALL FOOTERS ARE 8" X 16" (UNLESS NOTED ON DRAWINGS)

01 - PROPOSED FOUNDATION PLAN

Handwritten signature and initials:
 [Signature]
 DW
 1/1/17

CERTIFICATION	
De cese ENGINEERING & ARCHITECTURE 1100 W. 10TH AVENUE DENVER, CO 80202	
PROJECT NO.	17-001
DATE	1/1/17
\$1.1	



ALUM CLIFF INDUSTRIES
 510 OXFORD STATE ROAD
 MIDDLETOWN, OHIO 45044

WALDEN POND
 ADDRESS : 6298 OLD MILL CT.
 HAMILTON, OHIO 45011
 FAIRFIELD TOWNSHIP, BUTLER COUNTY

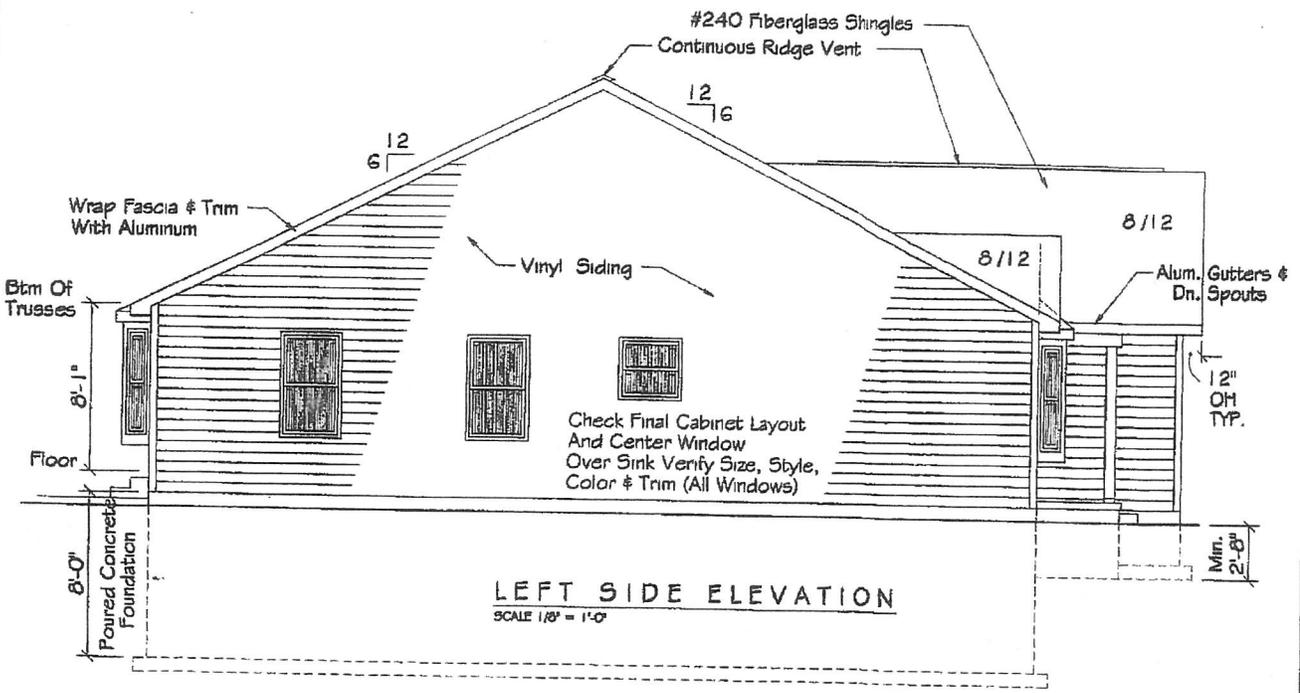
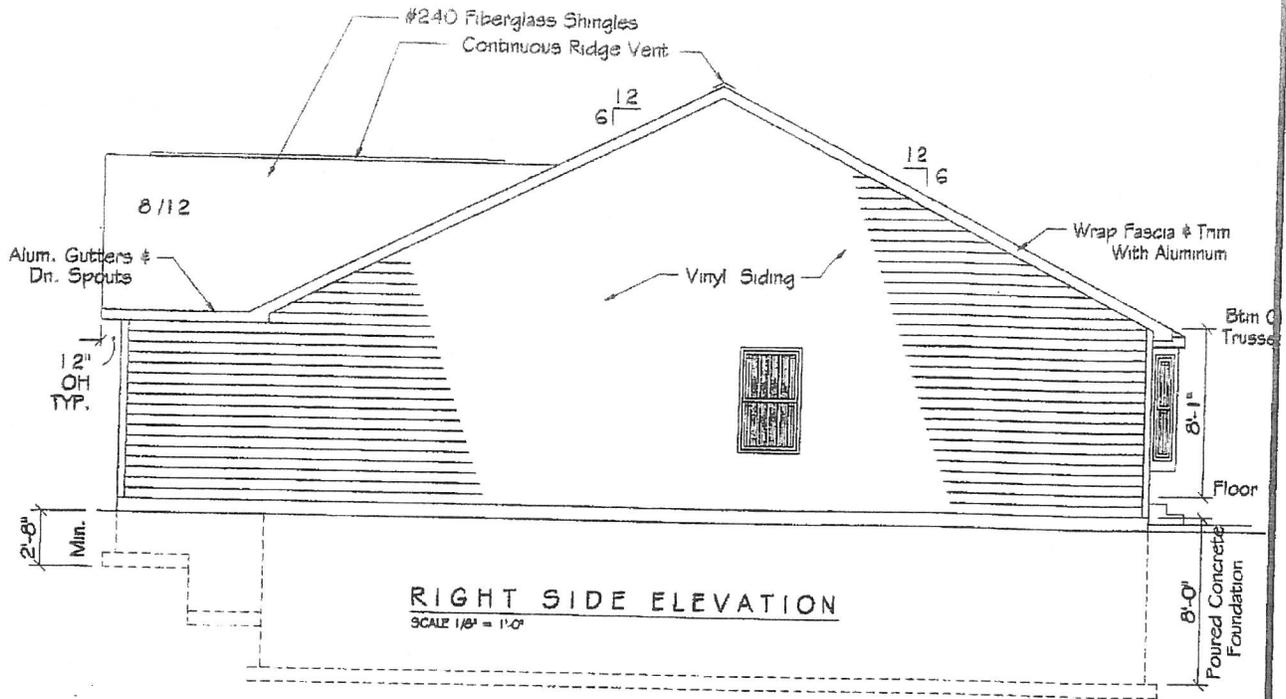
PHONE : (513)-422-7876 E-MAIL : dave.long@alumcliff.com

LOT #7762 WALDEN PONDS SEC B PARCEL I.D. A0300071000160

DATE :

DRAWN BY : PETE LINDSEY

6/29/17



ALUM CLIFF INDUSTRIES
 510 OXFORD STATE ROAD
 MIDDLETOWN, OHIO 45044

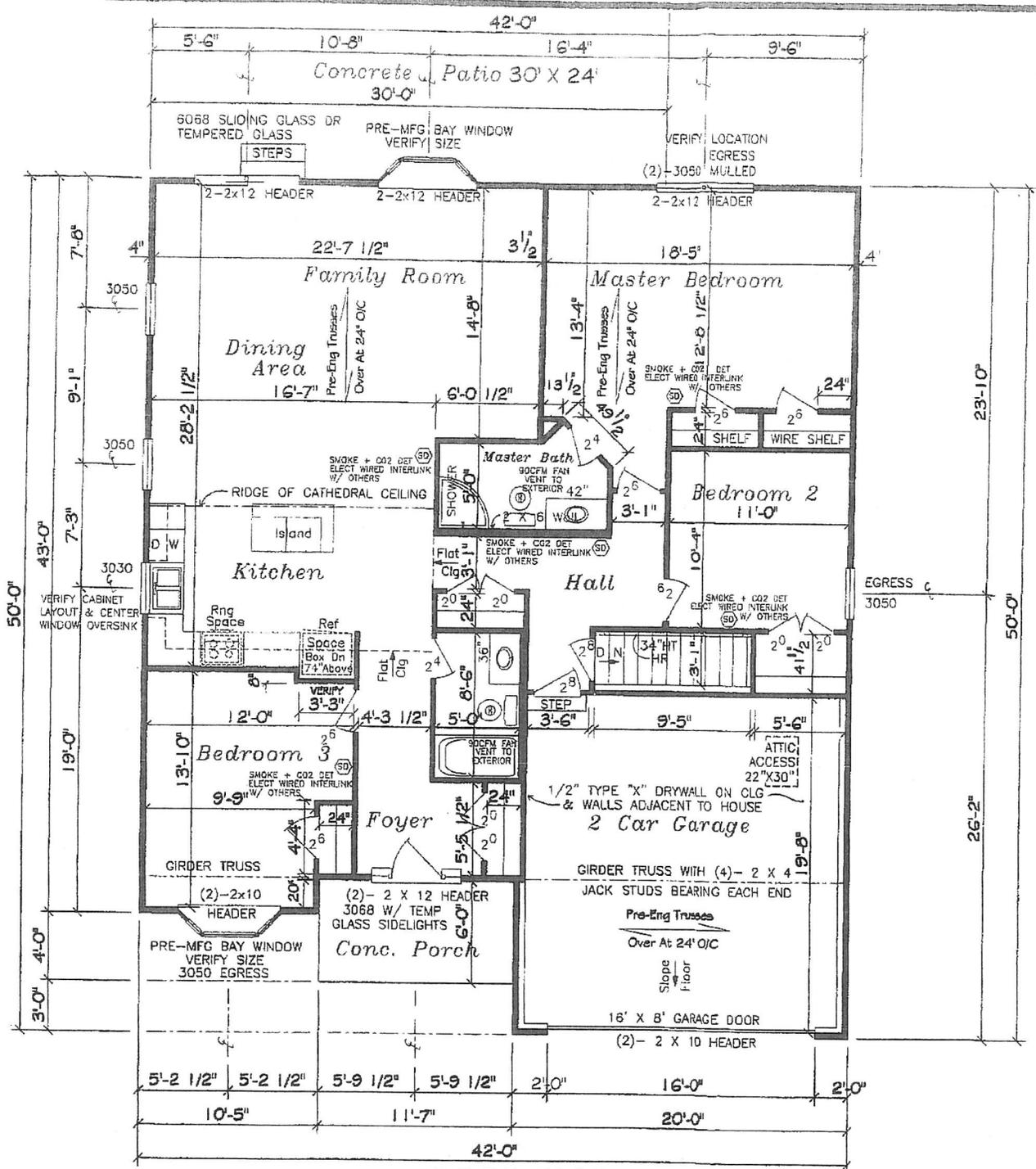
WALDEN POND
 ADDRESS : 6298 OLD MILL CT.
 HAMILTON, OHIO 45011
 FAIRFIELD TOWNSHIP, BUTLER COUNTY

PHONE : (513)-422-7876 E-MAIL : dave.long@alumcliff.com

LOT #7762 WALDEN PONDS SEC 8 PARCEL I.D. A0300071000160

DATE :

DRAWN BY : PETE LINDSEY



FLOOR PLAN
SCALE 1/8" = 1'-0"

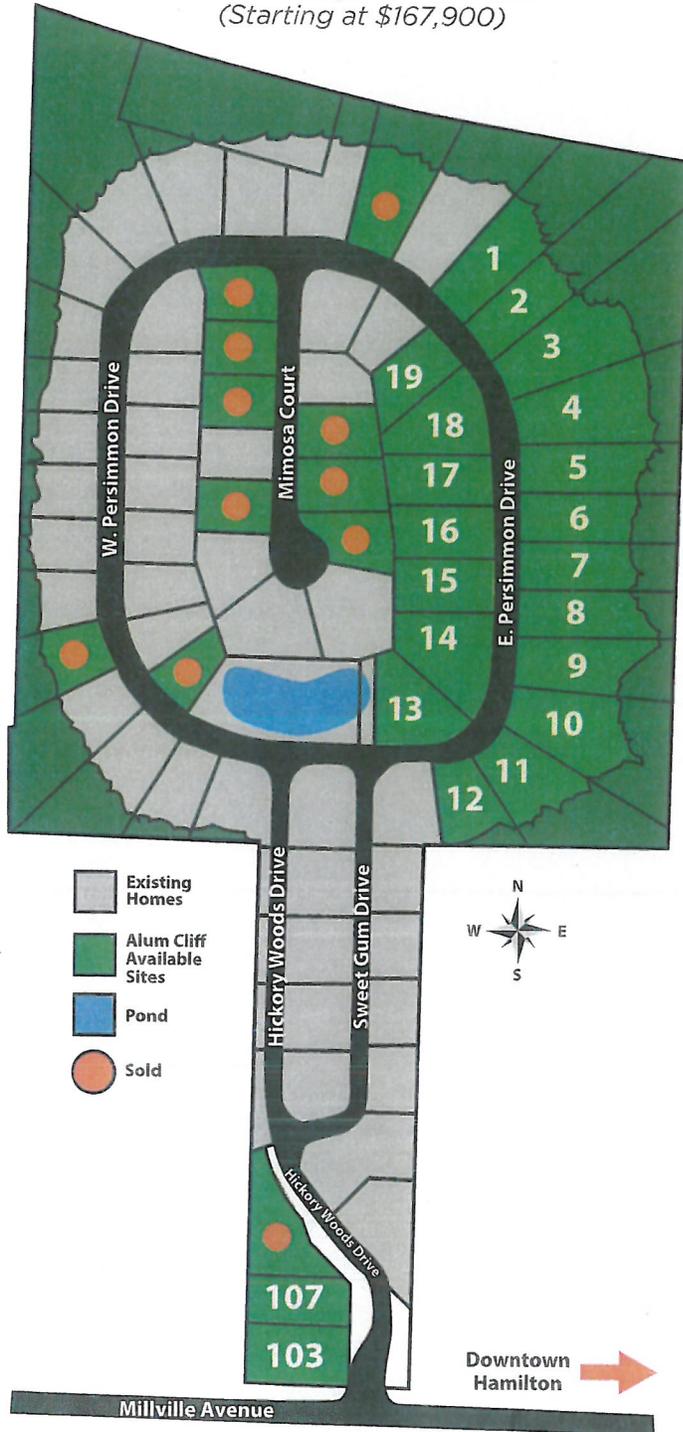
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510 OXFORD STATE ROAD
MIDDLETOWN, OHIO 45044
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WALDEN POND
ADDRESS : 6298 OLD MILL CT.
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FAIRFIELD TOWNSHIP, BUTLER COUNTY
LOT #7762 WALDEN PONDS SEC 8 PARCEL I.D. A0300071000160
DATE : DRAWN BY : PETE UNDSEY

HAMILTON COMMUNITIES

Hickory Woods

(Starting at \$167,900)



COMMUNITIES AVAILABLE NOW

Sterling Estates

(Starting at \$205,900)

- 326 Gorham Drive
- 402 Gorham Drive
- 1602 Laura-Jean Drive

Washington Estates

(Starting at \$196,900)

- 2215 Mossy Grove
- 2242 Fern Lane
- 2207 Mossy Grove ●



GREGG RUSSELL
 513.649.0710
 greggerussell@yahoo.com
 www.paulhowerealty.com





smile knowing your home is protected for a full ten years.

coverage that gives confidence.

Defining the 2-10 Home Buyers Warranty® Structural Home Warranty.

1 YEAR WORKMANSHIP WARRANTY

The 1 year workmanship warranty provides surety coverage from the day of closing. It provides clearly defined construction standards for defects in materials and workmanship for a full year if the builder defaults on their obligation.

What is covered:*

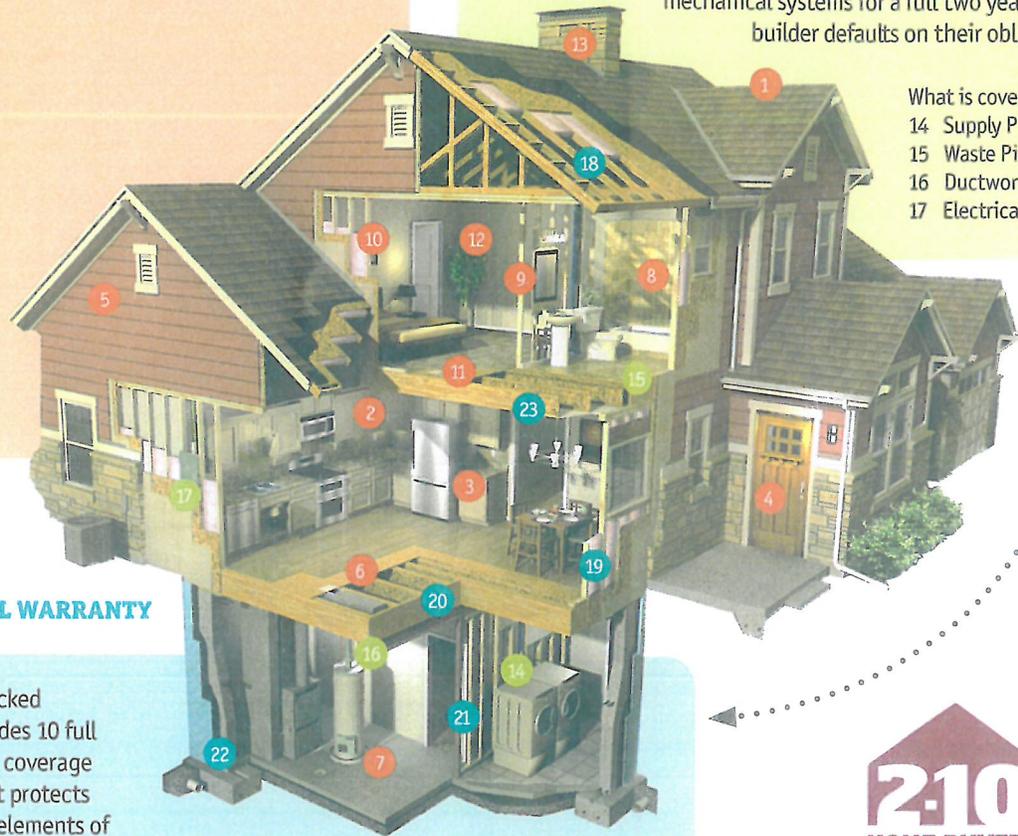
- 1 Roof Covering
- 2 Cabinets
- 3 Countertops
- 4 Door Panels
- 5 Exterior Siding
- 6 Hardwood Floor
- 7 Basement Floor
- 8 Ceramic Tile
- 9 Drywall
- 10 Interior Trim
- 11 Carpet
- 12 Paint
- 13 Fireplace

2 YEAR SYSTEMS WARRANTY

The 2 year systems warranty provides surety coverage from the day of closing. It provides clearly defined construction standards for defects in the distribution of electrical, plumbing and mechanical systems for a full two years if the builder defaults on their obligation.

What is covered:*

- 14 Supply Piping
- 15 Waste Piping
- 16 Ductwork
- 17 Electrical Wiring



10 YEAR STRUCTURAL WARRANTY

The 10 year insurance-backed structural warranty provides 10 full years of structural defect coverage from the day of closing. It protects designated load-bearing elements of the home caused by failure that affects their load-bearing function to the extent that the home becomes unsafe, unsanitary or otherwise unlivable.

What is covered:*

- | | |
|-----------------------|------------------|
| 18 Roof Framing | 21 Columns |
| 19 Load-Bearing Walls | 22 Foundation |
| 20 Beams | 23 Floor Framing |



LONG LIVE HAPPY HOMES®

2-10.com



Planning Department
 345 High Street, 3rd floor
 Hamilton, Ohio 45011

For the Planning Commission Meeting of May 21, 2020

To: Planning Commission
From: Ed Wilson, AICP, Associate Planner II
Date: May 11, 2020

Subject: **AGENDA ITEM #2 – New Business (Non-Public Hearing)**
Final Plat for Hickory Woods, Block D Subdivision

APPLICANT: David P. Long of Alum Cliff Industries, LLC.
LOCATION: Hickory Woods Subdivision – 1 East Persimmon Drive,
 situated in the First Ward, South Side.
 ([Location](#) / [Google Map](#))

REQUEST: A Final Plat review for Hickory Woods, Block D Subdivision.

BASIC INFORMATION		
Applicant/Property Owner	David P. Long, Alum Cliff Industries, LLC.	
Architect/Engineer/Consultant	Apex Engineering	
Size of Property	Existing Hickory Woods - 19.7 Acres Subject Property – 6.37 Acres	
Current Zoning	RPD (Residential Planned Development) as listed in Section 1118.100 of the Hamilton Zoning Ordinance	
Size of Revision	6.37 Acres	
ADJACENT LAND USE/ZONING INFORMATION		
Direction	Land Use	Zoning
North	Multi-Family Residential, Single-Family Residential	RPD (Residential Planned Development) R-1 (Single-Family Residential)
South	Multi-Family Residential Single-Family Residential	RPD (Residential Planned Development) R-1 (Single-Family Residential)
East	Single-Family Residential	R-1 (Single-Family Residential)
West	Multi-Family Residential Single-Family Residential	RPD (Residential Planned Development) R-1 (Single-Family Residential)

Section A: Introduction and Background

Section A.1: Project Overview

The submitted application pertains to a Final Plat of Hickory Woods, Block D, Subdivision. The Final Plat is the last step in the subdivision process for the acceptance of streets as right-of-way and the subdividing of vacant, unplatted land as buildable lots. The Planning Commission makes a recommendation to City Council for final action on Final Plat requests. The proposed plat is for the subdivision of 19 new buildable lots on the remaining un-platted, vacant land within the Hickory Woods Subdivision. Hickory Woods is a Planned Development community originally approved in the early 1990's. If approved, the development would be the final phase of development within the subdivision.



Section A.2: Existing Site Conditions

The site in question is an undeveloped area of 6.37 acres located within the Hickory Woods Subdivision, immediately east adjacent of the Persimmon Drive portion of the development. Surrounding land uses include single-family residential housing to the west, south, and east of the subdivision; and apartment complexes to the north, west, and south of the subdivision (for a location map, please see [Exhibit A](#)).

Houses constructed earlier in the subdivision's lifetime (1990s) are completely vinyl sided. Houses that have been constructed in recent years feature masonry/brick as part of the front facades and vinyl for side and rear facades.

A detention pond is located in the center of the development at the intersection of West Persimmon Drive, Hickory Woods Drive, and Sweet Gum Drive. Recently, a final course of street pavement was completed along Mimosa Drive. There are currently two (2) terminated roads at East Persimmon Drive and West Persimmon Drive that terminate in a manner that is not compliant with what is required for Emergency Response Services.

Section A.3: History

The Hickory Woods Planned Development has been through Planning Commission review on multiple occasions, particularly for the planning and platting of new sections or blocks of the development. A general history is as follows:

1. In 1993, the City of Hamilton approved Hickory Woods as a PUD (Planned Unit Development) for 113 lots. The approved Development Plan was revised twice in 1993. The final revision featured a development plan containing 87 lots identified for the construction of single-family residential dwellings.
2. In 1994, the Final Plat was approved for Block A of the development, which platted 15 lots in the subdivision.
3. In 1998, the Final Plat was approved for Block B of the development, which platted 27 lots in the subdivision.
4. In 2005, the Final Plat was approved for Phase II of the development, which platted eleven (11) lots in the subdivision.
5. In 2018, a Zone Change and amended Development Plan adding three (3) new lots along Millville Avenue. A Final Plat for Block C has been approved creating those three (3) lots.
6. On March 21, 2019, the Planning Commission approved the amendment to the Hickory Woods Development Plan to allow the Hickory Woods, Block D.





Section B: Development Plan Review

Section B.1: Request for Final Plat

The site in question, containing an area of approximately 6.37 acres, located in the eastern, undeveloped portion of the Hickory Woods Subdivision. Planning staff determined that the applicant submitted sufficient information to proceed with the final plat.

Section B.2: Submitted Request (Final Plat)

The plat proposes the subdivision and creation of the site into nineteen (19) new buildable lots, with one (1) non buildable lot. The applicant is proposing to construct nineteen (19) single-family homes with attached garages on each of the newly created buildable lots.

The proposal and final plat includes the extension of West Persimmon Drive, an existing private street, which will terminate into East Persimmon Drive. If approved, the development would be the final phase of development within the Hickory Woods Subdivision. The specifics of the development proposal are discussed in greater detail in the section below.

Section B.2.1 Buildable Lots and Home Characteristics ([Exhibit B](#))

The submitted Final Plat indicates the following:

1. Subdivision of the site in question into nineteen (19) buildable lots.
2. The Lot Characteristics of each new buildable lot are as follows:
 - a. Lots #1-12 and Lots #15-21
 - b. Lot Size: 7,446 square feet minimum
 - c. Lot Width: 60 feet minimum
 - d. Setbacks:
 - 1) 15 feet front yard setback
 - 2) 10 feet rear yard setback
 - 3) 5 feet side yard setback
 - e. Proposed landscaping: one (1) tree planted per single-family residential lot, located in the front yard. 2.5" caliper tree, per HOA requirements and city specifications.





3. Per the approved amended plan and preliminary plat, the Architectural Characteristics of the nineteen (19) Single-Family Homes:
 - a. The proposed homes will be consistent in architecture to the existing homes in the subdivision (see [Exhibit C](#) for pictures).
 - 1) The original homes constructed in the 1990's contain all vinyl facades.
 - 2) The 10-12 homes constructed in recent years contains at least 50% percent brick / stone on the front façade with the remaining exteriors of the structure being vinyl.
 - b. The materials for the proposed homes will be consistent with the home constructed in recent years.
 - c. Proposed homes will be one-story ranch housing.
 - d. The minimum size of each home will be 1,450 square feet of living space
 - e. Each home will feature an attached garage containing an area of 400 square feet.
 - f. Typical dimensions will be approximately 42 feet wide by 50 feet deep
 - g. Front façade materials will contain a minimum of 50% lightweight stone / brick.
 - h. Side and rear materials will be vinyl.

Section B.2.2 Non-Buildable Lots

The submitted Final Plat indicate the following:

1. Provision of one (1) non-buildable lots.
2. One (1) non-buildable lot, identified as Lot 32310, will be conveyed and combined with an adjacent parcel owned by the HOA. This parcel is currently an open space parcel occupied by a retention pond.

The preliminary plat featured one (1) non-buildable lot, to be conveyed and combined with an adjacent parcel owned by an individual property owner in the subdivision. The final plat combined this lot with what was known as Lot 12 (Lot 32309).





Section B.2.3 Conservation and Landscaping

The submitted Final Plat indicates the following:

1. Natural conservation of the existing trees located in the rear of all proposed lots
2. Provision of a conservation easement of 2.1 Acres to protect the existing wooded areas, along the rear of lots 1-12. This is the easternmost part of the subject area.
3. Provision of one (1) tree in the front yard area of each lot.

Section B.2.4 Off-Street Parking, Access Controls, & Easements

The submitted Final Plat indicates the following:

1. Extension of East Persimmon Drive, a private street, 633.29 feet of street length in manner that will connect East Persimmon Drive to West Persimmon Drive as a “loop.”
2. Vehicular access to the proposed 19 lots is from the extension of East Persimmon Drive, and the resulting loop of West Persimmon & East Persimmon Drive.
3. The extension of Persimmon Drive is 22 feet wide and contains a 30 feet wide ingress/egress easement.
4. The proposed utility easement includes two (2) 10 feet wide easements that run along the course of the proposed East Persimmon Drive on opposite sides of the proposed drive.

The Planning Commission reviewed and approved the Preliminary Plat for this subdivision on March 19, 2019. The Planning Department finds the proposed Final Plat to be consistent with the approved Preliminary Plat of the subdivision that was approved by the Planning Commission (see [Exhibit D](#) for the Approved Plan for reference).





Section C: Statutes:

Platting of Lots

Per the City Subdivision Regulations, Ordinance No. 6038, the Planning Commission can recommend that City Council approve or deny the request for the platting of subdivisions and subdivision lots within the City of Hamilton.

Chapter 1191 of the Subdivision Regulations outlines the procedure for plat approval.

Section D: Interdepartmental Review

The Hickory Woods, Block D, Final Plat has been through the city's Interdepartmental Review Committee. The proposed final plat has been reviewed and approved through the City's Interdepartmental Review process.

There were no objections to the Final Plat.

Section E: Recommendation

The Planning Commission can recommend approval or denial of the proposed Final Plat for Hickory Woods, Block D. If the Planning Commission approves a motion for approval, said recommendation is forwarded to City Council, which will take final action to approve or deny the Final Plat. If the Planning Commission approves a motion for denial, the application is considered denied and does not move forward to the City Council.

If the Planning Commission chooses to recommend approval of the Final Plat, the Planning Department recommends that the following motion:

- 1) That the Planning Commission take action and recommend that City Council approve the Final Plat for Hickory Woods, Block D, subdivision, with the recommended conditions of approval.

If the Planning Commission chooses to recommend approval, the Planning Department recommends that the Planning Commission include the following conditions of approval. Please note that these conditions of approval reflect the conditions found in the previously approved Hickory Woods, Block D, Amended Plan (See [Exhibit E](#)):





Conditions of Approval:

1. Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
2. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan and Final Plat.
3. Existing trees shall remain and a conservation easement shall be established and maintained as indicated on the submitted site plan.
4. All proposed landscaping items shall be reviewed and approved by the City of Hamilton Municipal Arborist.
5. All proposed landscaping item sizes to conform to the minimum size requirements found in Section 1111.10 of the Hamilton Zoning Ordinance. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6') feet in height, shrubs/bushes minimum of 12 inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
6. The building materials for siding of the front façade shall be at least 50% masonry and/or brick.
7. That all new single-family homes have a minimum size of 1,450 square feet.
8. That all new single-family homes have an attached garage with a minimum size of 400 square feet.
9. That no more than 40 inches of concrete foundation shall be exposed, unless in conjunction with a walk-out basement.





Section F: Staff Basis / Comments

Staff finds the final plat to be consistent with the intent and purpose of the Planned Development and Subdivision Regulations in the following ways:

1. The proposed development encourages imaginative, superior, design and function in developments through the creative use of land featuring a hilly topography, which prohibit it from being developed at a higher density or different configuration.
2. The proposed development provides an alternative procedure for the development of land to allow for more efficient and economical development of property than customarily permitted by conventional zoning and subdivision regulations.
3. The Hickory Woods, Block D subdivision has been through substantial planning and review procedures to facilitate a higher quality design and development. The applicant has met with staff several times to incorporate comments and input from all city departments to produce a plan that will be compliant with respect to city requirements.
4. The proposed plan and plat encourages the conservation of natural amenities of the landscape through the establishment of a conservation easement, and retention of existing trees in the development area, at the south, east, and northern boundaries. In doing so, the applicant is able to preserve a majority of the flora and fauna that currently existing on the site.
5. The proposed development properly integrates with the overall character and unique form of the Hickory Woods subdivision and is compatible with the existing development on the site in question.
6. The submitted plans connect East Persimmon Drive with West Persimmon Drive creating a “loop” which brings both streets into compliance with codes pertaining to access for Emergency Response Vehicles.





APPLICATION INFORMATION	
Applicant/Property Owner	David P. Long, Alum Cliff Industries, LLC.
Property Location	1 East Persimmon Drive
Size of Property	Existing Hickory Woods - 19.7 Acres Subject Property - 6.37 Acres
Current Zoning	RPD (Residential Planned Development) as listed in Section 1118.100 of the Hamilton Zoning Ordinance
Proposed Request:	Final Plat for Hickory Woods, Block D - to allow nineteen (19) single-family residential lots
Petition Date	05/01/2020

Conditions of Approval:

1. Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
2. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan and Final Plat.
3. Existing trees shall remain and a conservation easement shall be established and maintained as indicated on the submitted site plan.
4. All proposed landscaping items shall be reviewed and approved by the City of Hamilton Municipal Arborist.
5. All proposed landscaping item sizes to conform to the minimum size requirements found in Section 1111.10 of the Hamilton Zoning Ordinance. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6') feet in height, shrubs/bushes minimum of 12 inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
6. The building materials for siding of the front façade shall be at least 50% masonry and/or brick.
7. That all new single-family homes have a minimum size of 1,450 square feet.
8. That all new single-family homes have an attached garage with a minimum size of 400 square feet.
9. That no more than 40 inches of concrete foundation shall be exposed, unless in conjunction with a walk-out basement.

Report continued on the next page



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE FINAL PLAT FOR HICKORY WOODS, BLOCK “D” SUBDIVISION, LOCATED AT 1 EAST PERSIMMON DRIVE, SITUATED IN THE FIRST WARD, SOUTH SIDE, OF THE CITY OF HAMILTON, BUTLER COUNTY, OHIO. (David P. Long of Alum Cliff Industries, LLC, Property Owner).

WHEREAS, the City of Hamilton, Ohio received a request from David P. Long, per Alum Cliff Industries, LLC, Applicant, to approve the Final Plat for Hickory Woods, Block “D” Subdivision Ward located at 1 East Persimmon Drive situated in the First Ward, South Side, of the City of Hamilton, Ohio; and

WHEREAS, the final plat of the Hickory Woods, Block “D” subdivision, consists of approximately 6.37 acres of land; and

WHEREAS, the City of Hamilton Planning Commission on March 21, 2019 reviewed and approved the submitted preliminary plat for Hickory Woods, Block “D” subdivision; and

WHEREAS, the final plat will create into nineteen (19) buildable lots for detached, one-story single-family residential buildings, 60’ feet minimum lot width, 7,446 square feet minimum lot size; and

WHEREAS, the final plat completes the East Persimmon Drive private drive, 633.29 feet in length, with a 30 feet wide ingress/easement for access, and two (2) 10 feet wide utility easements, both of which parallel the course of the new drive; and

WHEREAS, the final plat provides a 2.1 acre conservation easement, for the preservation of existing flora, fauna, and natural amenities, along the eastern perimeter of the development; and

WHEREAS, the final plat for Hickory Woods, Block “D”, Subdivision was considered and approved by the Planning Commission on May 21, 2020; and

WHEREAS, on May 21, 2020, the Planning Commission recommended approval of the final plat for Hickory Woods, Block “D”, Subdivision to City Council subject to the following conditions:

- 1) Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
- 2) Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan and Final Plat.
- 3) Existing trees shall remain and a conservation easement shall be established and maintained as indicated on the submitted site plan.
- 4) All proposed landscaping items shall be reviewed and approved by the City of Hamilton Municipal Arborist.
- 5) All proposed landscaping item sizes to conform to the minimum size requirements found in Section 1111.20 of the Hamilton Zoning Ordinance. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6’) feet in height, shrubs/bushes minimum of twelve (12) inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
- 6) The building materials for siding of the front façade shall be at least 50% masonry and/or brick.
- 7) That all new single-family homes have a minimum size of 1,450 square feet.
- 8) That all new single-family homes have an attached garage with a minimum size of 400 square feet.

Ordinance No. _____ (Cont'd)

- 9) That no more than 40 inches of concrete foundation shall be exposed, unless in conjunction with a walk-out basement.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council accepts the recommendation of the Planning Commission and hereby approves the final plat for Hickory Woods, Block "D", as seen in Exhibit No. 1, subject to the conditions in Exhibit No. 2, for the following rationale:

- 1. The proposed development encourages imaginative, superior, design and function in developments through the creative use of land featuring a hilly topography, which prohibit it from being developed at a higher density or different configuration.
- 2. The proposed development provides an alternative procedure for the development of land to allow for more efficient and economical development of property than customarily permitted by conventional zoning and subdivision regulations.
- 3. The Hickory Woods, Block D subdivision has been through substantial planning and review procedures to facilitate a higher quality design and development. The applicant has met with staff several times to incorporate comments and input from all city departments to produce a plan that will be compliant with respect to city requirements.
- 4. The proposed plan and plat encourages the conservation of natural amenities of the landscape through the establishment of a conservation easement, and retention of existing trees in the development area, at the south, east, and northern boundaries. In doing so, the applicant is able to preserve a majority of the flora and fauna that currently existing on the site.
- 5. The proposed development properly integrates with the overall character and unique form of the Hickory Woods subdivision and is compatible with the existing development on the site in question.
- 6. The submitted plans connect East Persimmon Drive with West Persimmon Drive creating a "loop" which brings both streets into compliance with codes pertaining to access for Emergency Response Vehicles.

SECTION II: That the final plat, for Hickory Woods, Block "D", situated in the First Ward, South Side, City of Hamilton, Ohio, heretofore approved by the Platting Commissioner and the Planning Commission of the City of Hamilton, Ohio, be and the same is hereby approved.

SECTION III: That all dedications, grants of land or easements and special covenants, conditions, and restrictions as shown on said plat are hereby accepted and confirmed.

SECTION IV: This ordinance shall take effect and be in full force from and after the earliest period allowed by law after its passage.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

Ordinance No. _____ (Cont'd)

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

**Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO**

EXHIBIT NO. 1

HICKORY WOODS SUBDIVISION
Block "D"
 CONGRESS LANDS WEST OF MIAMI RIVER
 SECTION 25, TOWN 4, RANGE 2E
 FIRST WARD, CITY OF HAMILTON
 BUTLER COUNTY, OHIO

VICINITY MAP
NOT TO SCALE

DEDICATION

That the undersigned, being the owners of a certain parcel of land, being all or part of the same, situate in the City of Hamilton, Butler County, Ohio, and being more particularly described as follows, to-wit: _____, do hereby dedicate the same to the City of Hamilton, Ohio, to be known as Hickory Woods Block "D" of the Hickory Woods Subdivision, and the same shall be known as such from and after the date hereof.

The City of Hamilton, Ohio, is authorized to accept the same on behalf of the City of Hamilton, Ohio, and the same shall be known as such from and after the date hereof.

The City of Hamilton, Ohio, is authorized to accept the same on behalf of the City of Hamilton, Ohio, and the same shall be known as such from and after the date hereof.

ACKNOWLEDGMENT

I, _____, of the County of _____, State of _____, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the records of the County of _____, State of _____.

WITNESSED MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

 CLERK OF BUTLER COUNTY

LOT CONFIGURATION NOTE

Any lot described in this plat which is a common wall and not independently surveyed shall be a common wall and not independently surveyed. Any lot described in this plat which is a common wall and not independently surveyed shall be a common wall and not independently surveyed.

HOMEOWNERS ASSOCIATION NOTE

The undersigned hereby certifies that the plat is a true and correct copy of the original as the same appears in the records of the County of _____, State of _____.

STORM SEWER NOTE

All proposed storm sewer facilities are to be privately owned and maintained by the homeowners association.

DEED REFERENCE

Plat No. _____ of _____, Butler County, Ohio, is hereby referred to as authority for the location of the lots described in this plat.

OWNER/DEVELOPER

CITY COUNCIL

Passed at the Record Meeting of _____, _____, 20____.

 CLERK OF COUNCIL

PLANNING COMMISSION

Passed at the Record Meeting of _____, _____, 20____.

 CHAIRMAN

COUNTY AUDITOR

Entered for Record this _____ day of _____, 20____.

 COUNTY AUDITOR

COUNTY RECORDER

Filed for Record this _____ day of _____, 20____.

 COUNTY RECORDER

NOTARY PUBLIC

Notary Public for Butler County, Ohio.

 NOTARY PUBLIC

INDEXING

INDEXED BY _____

Ordinance No. _____ (Cont'd)

EXHIBIT NO. 2

APPLICATION INFORMATION	
Applicant/Property Owner	David P. Long, Alum Cliff Industries, LLC.
Property Location	1 East Persimmon Drive
Size of Property	Existing Hickory Woods - 19.7 Acres Subject Property – 6.37 Acres
Current Zoning	RPD (Residential Planned Development) as listed in Section 1118.100 of the Hamilton Zoning Ordinance
Proposed Request:	Final Plat for Hickory Woods, Block D – to allow nineteen (19) single-family residential lots

Request: To approve the Final Plat for Hickory Woods, Block “D”, Subdivision, consisting of 6.37 acres, First Ward, Second Ward, City of Hamilton, Ohio.

Conditions of Approval:

1. Construction drawings and documents for the proposed improvements and work shall be revised subject to any current interdepartmental review comments, and future review requirements of the City of Hamilton Interdepartmental Review.
2. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan and Final Plat.
3. Existing trees shall remain and a conservation easement shall be established and maintained as indicated on the submitted site plan.
4. All proposed landscaping items shall be reviewed and approved by the City of Hamilton Municipal Arborist.
5. All proposed landscaping item sizes to conform to the minimum size requirements found in Section 1111.20 of the Hamilton Zoning Ordinance. (Deciduous trees minimum of 2 ½ inches caliper, evergreen trees minimum of six (6') feet in height, shrubs/bushes minimum of 12 inches). All tree species proposed shall be reviewed and approved by the City of Hamilton Municipal Arborist.
6. The building materials for siding of the front façade shall be at least 50% masonry and/or brick.
7. That all new single-family homes have a minimum size of 1,450 square feet.
8. That all new single-family homes have an attached garage with a minimum size of 400 square feet.
9. That no more than 40 inches of concrete foundation shall be exposed, unless in conjunction with a walk-out basement.

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (123 & 127 Pershing Avenue).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 5-27-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$ Expenditure: \$ Source Funds:</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lots at 123 & 127 Pershing Avenue to St. Paul Miracle Network Inc. (St. Paul Pentecostal) who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lots at 123 & 127 Pershing Avenue to St. Paul Miracle Network Inc. (St. Paul Pentecostal) keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lots at 123 & 127 Pershing Avenue to St. Paul Miracle Network Inc. (St. Paul Pentecostal) because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 123 & 127 Pershing Avenue was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in February 2020. The property is eligible for the side lot program and is in an urban renewal area. St. Paul Miracle Network (St. Paul Pentecostal) owns the property at 101 Pershing Avenue and 612-630 South Front Street and seeks to expand their campus for future development by purchasing the property for One Hundred and 00/100 Dollars (\$100.00) through the City’s Side Lot Program.

Address	Parcel Identification
123 & 127 Pershing Avenue, Hamilton, OH	P6421010000031 P6421010000032 P6421010000033

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDE LOT. (123 & 127 Pershing Avenue).

WHEREAS, the City of Hamilton, Ohio has received a request from St. Paul Miracle Network Inc. (St. Paul Pentecostal) to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the property owned by St. Paul Miracle Network Inc. (St. Paul Pentecostal); and

WHEREAS, no other contiguous property owner qualified to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to St. Paul Miracle Network Inc. (St. Paul Pentecostal) and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below, also as seen as Exhibit No. 1, to the applicant for One Hundred and 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
St. Paul Miracle Network Inc. (St. Paul Pentecostal)	123 & 127 Pershing Avenue	P6421010000031 P6421010000032 P6421010000033

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

Ordinance No. _____ (cont'd)

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

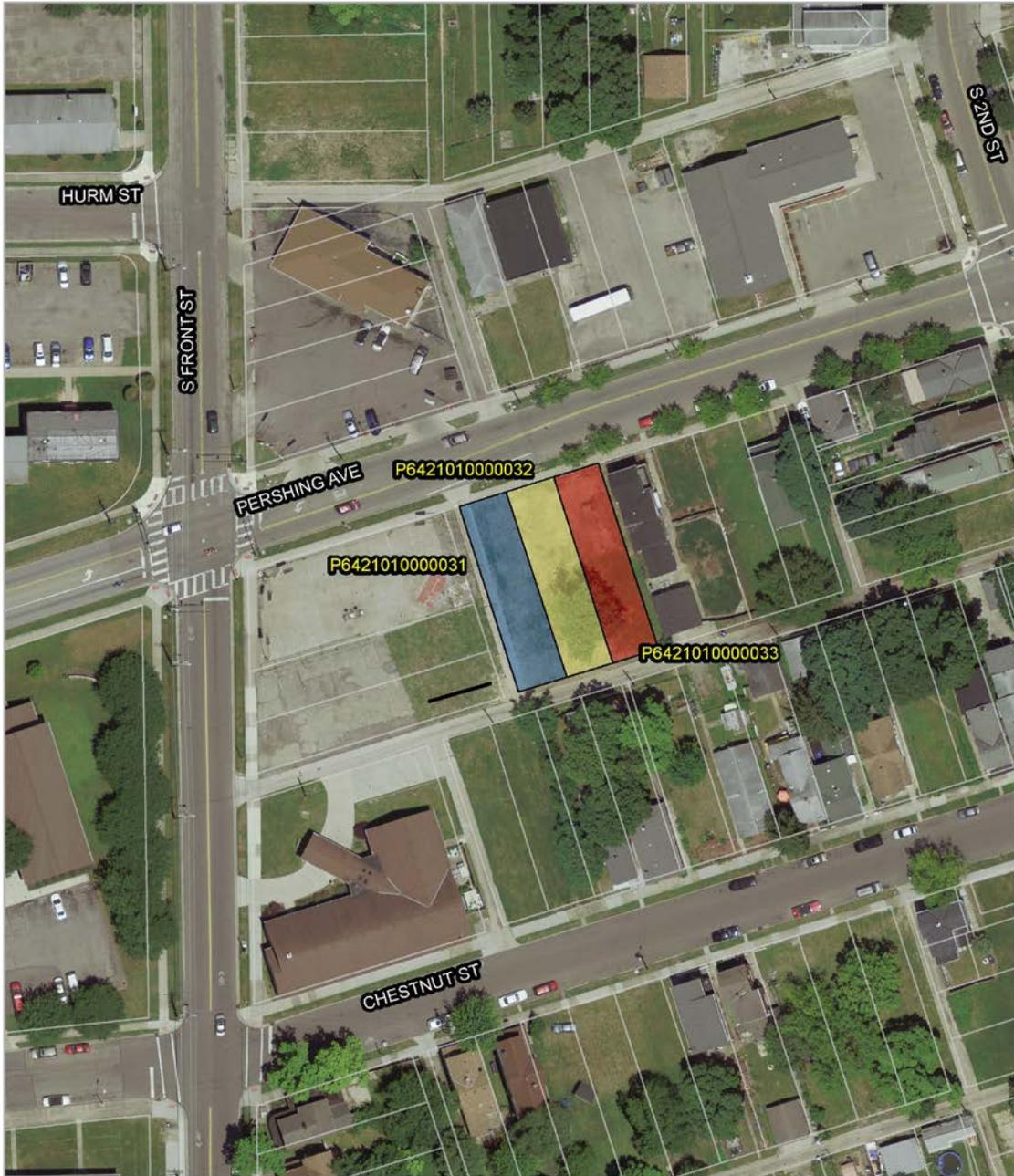
CERTIFICATE

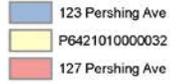
I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Ordinance No. _____ (cont'd)

EXHIBIT NO. 1



  **Exhibit #1** 

Date: 5/21/2020 The information contained in this map is a public resource. For general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the user's sole risk of the user. 1 inch = 100 feet

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (412 Hudson Avenue).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 5-27-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$ Expenditure: \$ Source Funds:</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 412 Hudson Avenue to Samantha Feathers who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 412 Hudson Avenue to Samantha Feathers keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 412 Hudson Avenue to Samantha Feathers because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 412 Hudson Avenue was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in April 2020. The property is eligible for the side lot program and is in an urban renewal area. Samantha Feathers owns the property at 410 Mill Road and seeks to expand the yard by purchasing the property for One Hundred and 00/100 Dollars (\$100.00) through the City’s Side Lot Program.

Address	Parcel Identification
412 Hudson Avenue, Hamilton, OH	P6431051000005

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (412 Hudson Avenue).

WHEREAS, the City of Hamilton, Ohio has received a request from Samantha Feathers to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Samantha Feathers; and

WHEREAS, no other contiguous property owner qualified to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Samantha Feathers and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below, also as seen as Exhibit No. 1, to the applicant for One Hundred and 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
Samantha Feathers	412 Hudson Avenue	P6431051000005

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

Ordinance No. _____ (cont'd)

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____
City Clerk

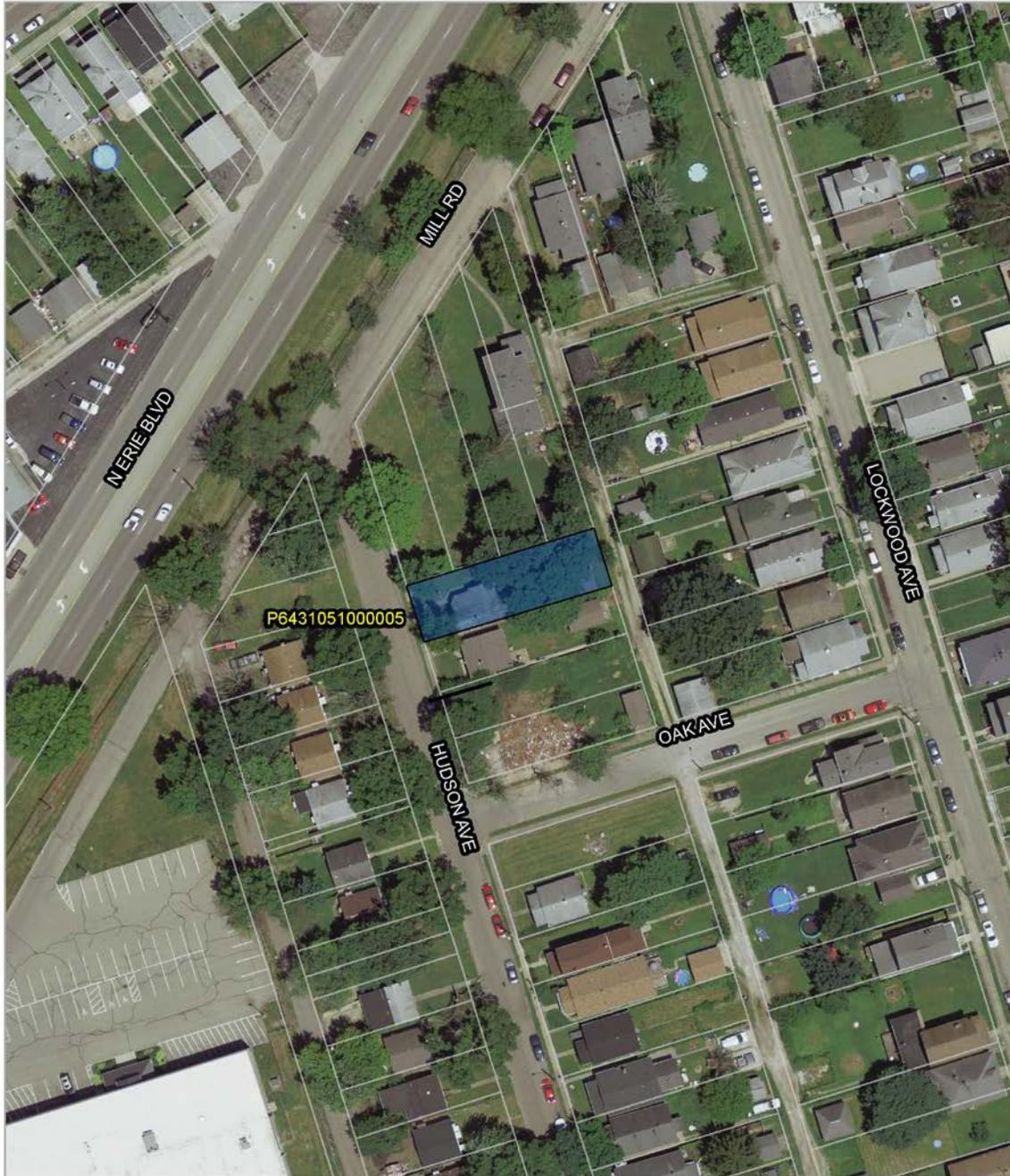
CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Ordinance No. _____ (cont'd)

EXHIBIT NO. 1



 412 Hudson Ave

Exhibit #1



Date: 5/20/2020

The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user.

1 inch = 100 feet

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (610 South Fourth Street).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 5-27-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>
	<p>Expenditure: \$</p>	
	<p>Source Funds:</p>	

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 610 South Fourth Street to Lucy Coleman who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 610 South Fourth Street to Lucy Coleman keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 610 South Fourth Street to Lucy Coleman because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 610 South Fourth Street was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in February 2020. The property is eligible for the side lot program and is in an urban renewal area. Lucy Coleman owns the property at 602-606 South Fourth Street and seeks to expand the yard by purchasing the property for One Hundred and 00/100 Dollars (\$100.00) through the City's Side Lot Program.

Address	Parcel Identification
610 South Fourth Street, Hamilton, OH	P6441037000057

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (610 South Fourth Street).

WHEREAS, the City of Hamilton, Ohio has received a request from Lucy Coleman to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Lucy Coleman; and

WHEREAS, no other contiguous property owner qualified to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Lucy Coleman and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below, also as seen as Exhibit No. 1, to the applicant for One Hundred and 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
Lucy Coleman	610 South Fourth Street	P6441037000057

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

Ordinance No. _____ (cont'd)

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

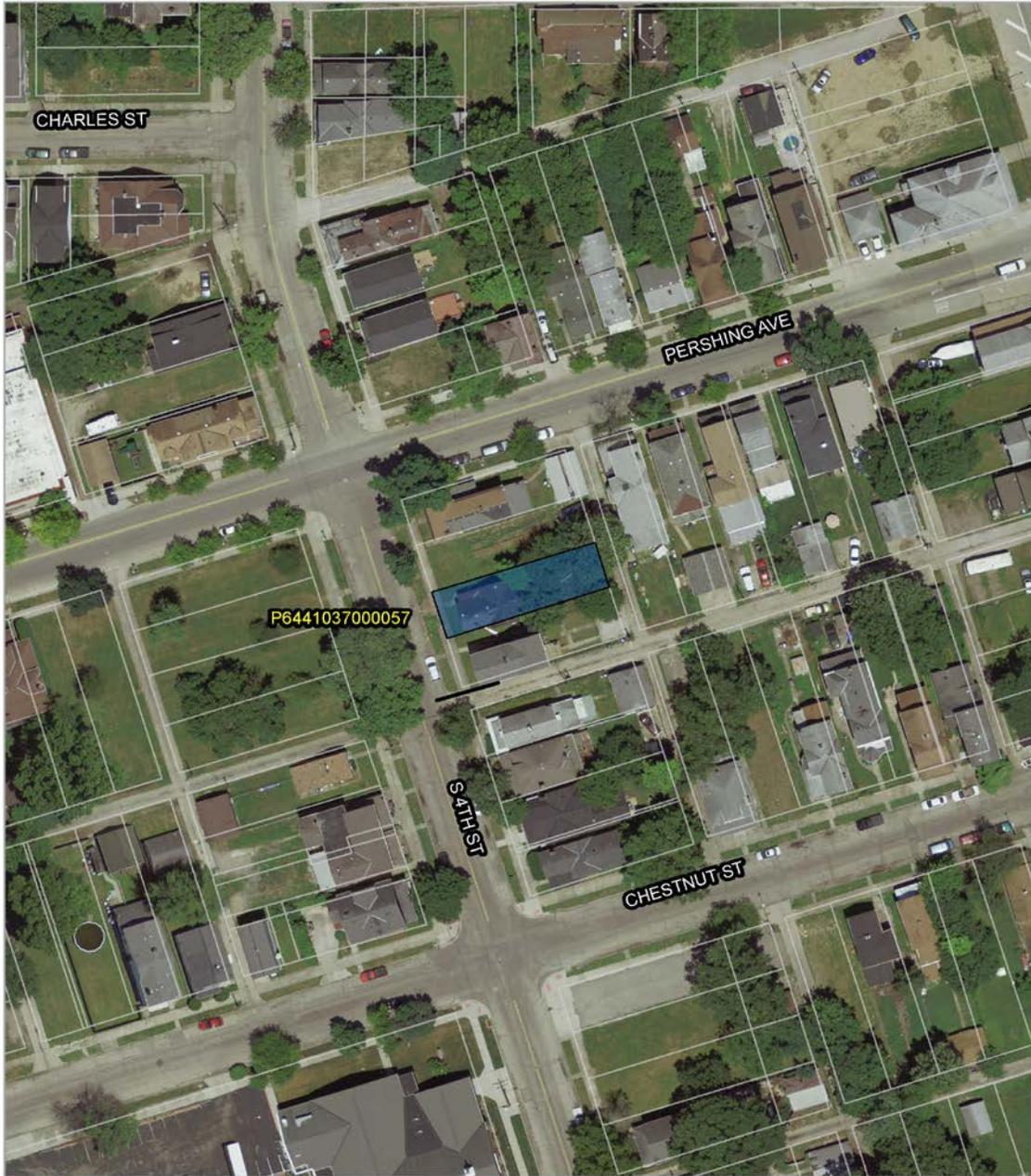
CERTIFICATE

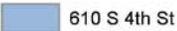
I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Ordinance No. _____ (cont'd)

EXHIBIT NO. 1



  **Exhibit #1** 

Date: 5/20/2020 The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and disclaims its liability for any errors. Any reliance on this information is the exclusive risk of the user. **1 inch = 100 feet**

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (904 North E Street).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 5-27-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$</p> <p>Expenditure: \$</p> <p>Source Funds:</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 904 North E Street to Terry Ondrovich who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 904 North E Street to Terry Ondrovich keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 904 North E Street to Terry Ondrovich because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 904 North E Street was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in April 2020. The property is eligible for the side lot program and is in an urban renewal area. Terry Ondrovich owns the property at 906 North E Street and seeks to expand the yard by purchasing the property for One Hundred and 00/100 Dollars (\$100.00) through the City's Side Lot Program.

Address	Parcel Identification
904 North E Street, Hamilton, OH	P6411039000012

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (904 North Street).

WHEREAS, the City of Hamilton, Ohio has received a request from Terry Ondrovich to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Terry Ondrovich; and

WHEREAS, no other eligible contiguous property owner applied to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Terry Ondrovich and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below, also as seen as Exhibit No. 1, to the applicant for One Hundred and 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
Terry Ondrovich	904 North E Street	P6411039000012

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

Ordinance No. _____ (cont'd)

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

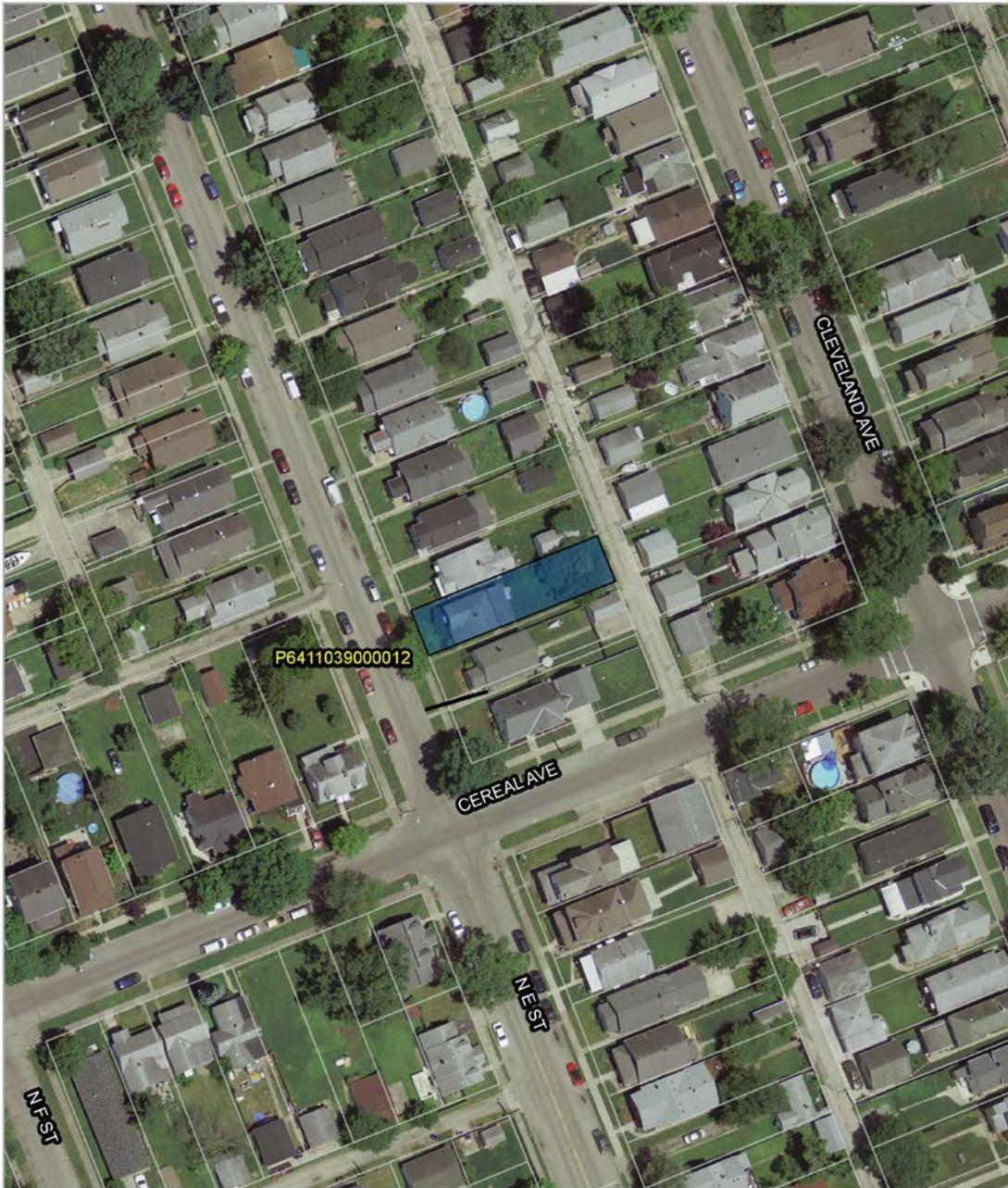
CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Ordinance No. _____ (cont'd)

EXHIBIT NO. 1



  904 NE St

Exhibit #1

City of Hamilton
BUTLER COUNTY OHIO 

Date: 5/20/2020 The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user. 1 inch = 100 feet

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (2141 Benninghofen Avenue).

Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	Related Strategic Goal(s) <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
Ordinance or Resolution <i>Ordinance</i>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i>	City Council (or other): Caucus Report 5-27-20 City Council Meeting	
Contract	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
Fiscal Impact	Budgeted: \$ Expenditure: \$ Source Funds:	<i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i>

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 2141 Benninghofen Avenue to Duane Moore who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 2141 Benninghofen Avenue to Duane Moore keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 2141 Benninghofen Avenue to Duane Moore because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 2141 Benninghofen Avenue was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in April 2018. The property is eligible for the side lot program and is in an urban renewal area. Duane Moore owns the property at 2147 Benninghofen Avenue and seeks to expand the yard by purchasing the property for One Hundred and 00/100 Dollars (\$100.00) through the City's Side Lot Program.

Address	Parcel Identification
2141 Benninghofen Avenue, Hamilton, OH	P6461032000024

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (2141 Benninghofen Avenue).

WHEREAS, the City of Hamilton, Ohio has received a request from Duane Moore to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Duane Moore; and

WHEREAS, no other eligible contiguous property owner applied to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Duane Moore and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below, also as seen as Exhibit No. 1, to the applicant for One Hundred and 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
Duane Moore	2141 Benninghofen Avenue	P6461032000024

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

Ordinance No. _____ (cont'd)

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

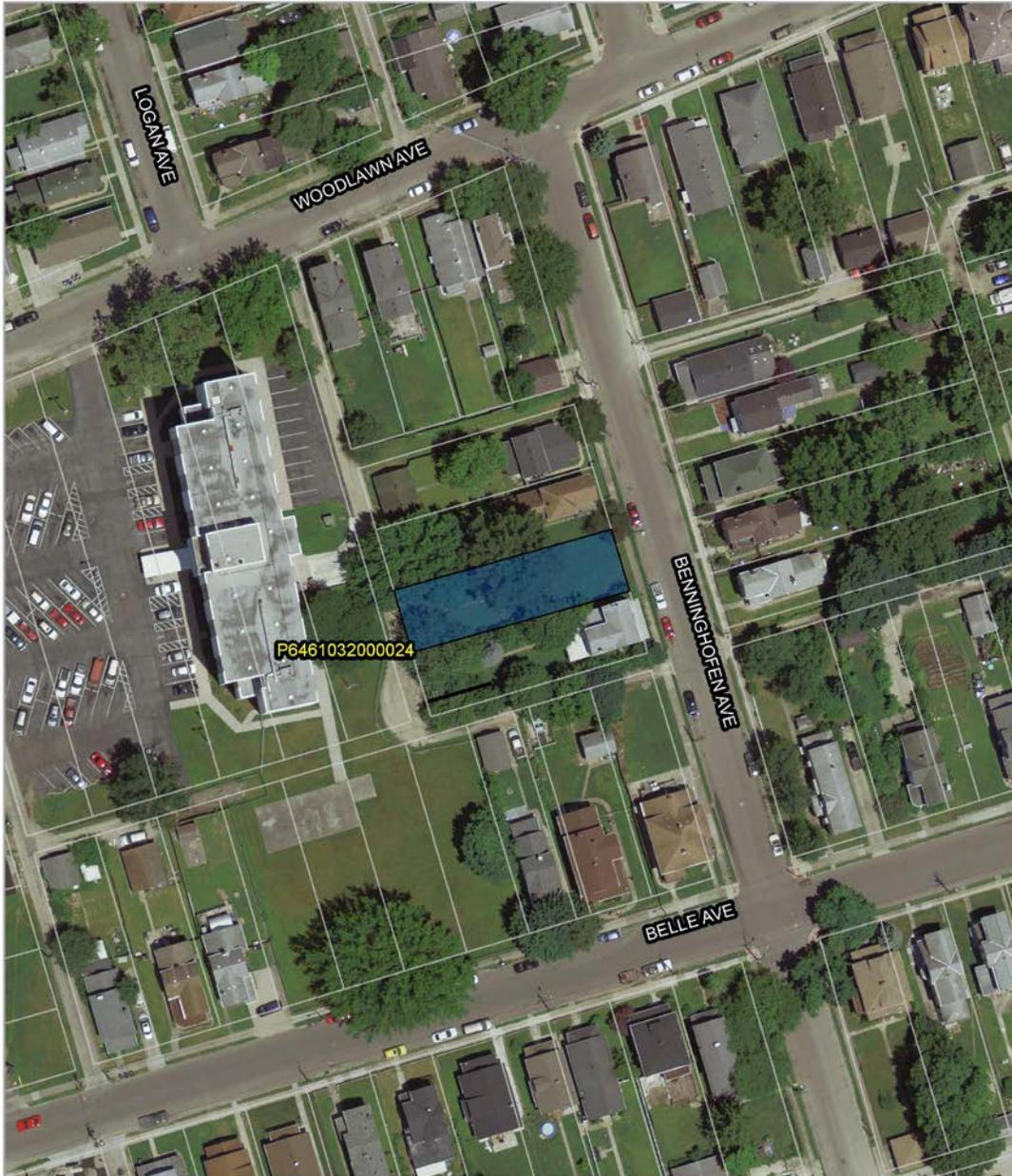
CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Ordinance No. _____ (cont'd)

EXHIBIT NO. 1



  2141 Benninghofen Ave **Exhibit #1**  City of Hamilton
BUILLER COUNTY OHIO

Date: 6/20/2020 The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty as to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user. **1 inch = 100 feet**

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Jim Logan, Executive Director of Infrastructure

Agenda Item: An ordinance amending and supplementing Schedule “A” of the City’s Classification and Compensation Plan, as set forth in Emergency Ordinance No. EOR2020-1-6, adopted January 15, 2020, to establish the new classification of Systems Engineer and to delete the classification of Assistant Manager of Transmission & Distribution Operations.

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input checked="" type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-20 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-20 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 5-27-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>
	<p>Expenditure: \$</p>	
	<p>Source Funds: Electric Fund</p>	

Policy Issue

Does City Council wish to adopt legislation to amend Schedule “A” to delete the classification of Assistant Manager of Transmission & Distribution Operations and to establish the classification of Systems Engineer?

Policy Alternative(s)

Council may choose not to adopt such legislation to amend Schedule “A” to delete the classification of Assistant Manager of Transmission & Distribution Operations and to establish the classification of Systems Engineer. Failure to adopt this legislation will result in the continuation of the current organizational structure and will limit the efficiency expected to be derived from this reorganization.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to amend Schedule “A” to delete the classification of Assistant Manager of Transmission & Distribution Operations and to establish the classification of



Systems Engineer.

Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 5.02, Responsibility of the Manager – Powers of Appointment and Removal, of the Charter of the City of Hamilton.

Fiscal Impact Summary

The fiscal impact of the reorganization equates to a projected cost increase of approximately \$5,800. Please see below for further details.

Background Information

The Department of Infrastructure is recommending removing the position of Assistant Manager of Transmission & Distribution Operations and adding the position classification of Systems Engineer to accurately reflect the responsibilities of the position.

In June of 2017, the City combined Public Works and Utilities into the Department of Infrastructure. Since then, Staff has continuously focused on evaluating processes and procedures to increase the quality of services (i.e., reduce outages and improve system reliability) and provide safe working conditions for our employees and community. This evaluation process has resulted in the elimination of positions to better streamline work and communication throughout the organization.

The employee currently in the Assistant Manager of Transmission & Distribution Operations position will be reclassified to the proposed Systems Engineer position. The proposed Systems Engineer position will better reflect the duties and responsibilities required of this position. The position of Systems Engineer will be used to manage capital projects, from inception to completion, in the City electric system. This will include, and not be limited to, design, budgeting, and construction management. This position will report directly to the Director of Utility Operations. As a result, Staff is recommending the following adjustments to reflect the change in responsibilities:

Current Position	Proposed Position	Current Range	Proposed Range	Budget Impact
Assistant Manager of Transmission & Distribution Operations	Systems Engineer	58	58	\$5,800

Attached Information

- Position Description for Systems Engineer

Copies Provided to:

N/A



CLASS TITLE	Systems Engineer
CLASS CODE NUMBER	6065
ADMINISTRATIVE SERVICE CATEGORY	Classified
ADOPTED	
REVISED	
PROBATIONARY PERIOD	One (1) Year

DESCRIPTION OF DUTIES

This position is responsible for sophisticated professional, supervisory and technical work in the planning, organization, direction, supervision and coordination of the operations, maintenance, capital improvements and activities of the Electric Power Systems Division. The Division is responsible for high voltage transmission and distribution systems, substations, downtown electric network, hydroelectric power plant support, and the fiber optic system. This position reports to the Director of Utility Operations or his designee; however, extensive leeway is granted for the exercise of independent judgment in supporting the Division. The nature of the work performed requires that an employee in this class establish and maintain effective working relationships with Directors and supervisory personnel in other City departments and divisions. Under the direction of the Director of Utility Operations, this position manages and leads, through subordinate staff, the operation, maintenance and capital improvements of the Division. Direct and indirect supervision is exercised over professional, managerial/supervisory, technical and clerical staff.

ESSENTIAL JOB FUNCTIONS

- Must be able to lead the organization’s response to electric system incidents expediently and safely. Disturbances can require leading restoration of electric service efforts following major interruptions and may require extricating the public or employees from life threatening situations.
- Serves on supervisory stand-by rotation to manage after-hours incidents. Monitors alarms, manages response to disturbance calls, and manages public notifications. Typically, responsible for electric stand-by duty one (1) or two (2) weeks per month based on a rotating schedule.
- Remains available for callout 24/7 in all weather conditions. Regularly is required to work extended hours and emergency schedules.
- Operates transmission, distribution, and generation systems including developing procedures for switching for electric system maintenance, upgrades, and service restoration.
- Helps plan, organize, direct, supervise and coordinate the operations, maintenance and capital improvement activities of the Electric Transmission and Distribution Operations;

- Assists with development of administrative and operational policies, rules and regulations for approval by the Director of Utility Operations, Public Utilities Commission and City Council; implements approved policies, rules and regulations;
- Ensures compliance with policies, safety rules and policies, governmental regulations, and non-discrimination/affirmative action plans;
- Assists the Director of Utility Operations with preparation of budgets, capital improvement plans, rates and riders, strategic plans, and customer, vendor and collective bargaining agreements;
- Administers customer, vendor and collective bargaining agreements and maintains effective labor relations;
- Participates in labor-management meetings and collective bargaining sessions;
- Assists in the development and implementation of short-term and long-term goals and objectives of the Division;
- Analyzes Electric System design and operations; recommends necessary capital and operational improvements to maximize efficiency, reliability and competitive rates;
- Assists in development and implementation of design, operation and maintenance standards for the safe and reliable operation of the Electric System;
- Prepares a variety of technical reports and special assignments pertaining to the Division;
- Provides technical and engineering advice and analysis to the Director of Utility Operations, other City Departments and Divisions and others as required or requested;
- Directs, supervises, advises, motivates, counsels, trains, prioritizes and evaluates the work and performance of subordinate personnel;
- Responsible for effective implementation of the Electric Utility capital improvement plan;
- Assists the Director of Utility Operations in establishing Electric Utility operation and performance measures, monitors performance and recommends corrective action as needed;
- Assists with City Economic Development efforts as needed;
- Attends meetings, conferences and workshops as requested and authorized;
- Performs related work as required.

DESIRED SKILLS/KNOWLEDGE/ABILITIES

- Thorough knowledge of electric power supply and generation, transmission and distribution, and telecommunications operations and industry practices;
- Ability to independently lead the organizations response to incidents.

- Knowledge of financial analyses and budgeting;
- Ability to make quick and sound business decisions under tight operating deadlines;
- Ability to prioritize multiple difficult professional level duties;
- Skill in leadership, negotiations, motivation, management, project coordination and supervision;
- Ability to perform tasks with ingenuity and inventiveness;
- Ability to perform work with speed, accuracy and attention to detail;
- Ability to make informed decisions in accordance with established policies and procedures;
- Ability to effectively plan, organize, prioritize, motivate, supervise and evaluate the work of others;
- Ability to establish and maintain effective working relationships with other City Department Heads, Division Heads, supervisory personnel, contractors, developers, engineering consultants and the general public;
- Ability to communicate effectively with others, both verbally and in writing;
- Ability to handle confidential customer, employee and administrative information with tact and discretion.
- Thorough knowledge of prudent utility management and operation practices and methods, analyses, procedures and budgeting, including power supply and generation, transmission and distribution, and telecommunications;
- Thorough knowledge of effective management principles;
- Thorough knowledge of electric engineering principles and practices;
- Thorough knowledge of the occupational hazards associated with electric utility operations and industry safety practices;
- Skill in interpersonal communications and persuasion;
- Ability to develop and implement short-term and long-range plans;
- Ability to effectively manage and control large capital improvement projects and expenditures;
- Ability to prepare complex technical reports and presentations;
- Thorough understanding of utility financial principles, accounting and budgeting;
- Ability to interpret and negotiate contracts;

- Thorough knowledge of computer hardware and software, including network applications and standards and SCADA systems;

MINIMUM QUALIFICATIONS

- Graduation from a college or university of recognized standing with a Bachelor's Degree in Electrical Engineering or closely related field; and
- Three (3) years of work experience in the field;
- Possession of a valid driver's license.

PREFERRED QUALIFICATIONS

- Professional Engineer Certification (PE);
- Graduate experience

ESSENTIAL PHYSICAL/MENTAL ABILITIES

- Occasionally: Crawling, climbing, reaching overhead, crouching, kneeling, balancing, pushing or pulling, grasping, lifting (26lbs to over 100lbs), and carrying (26lbs to over 100lbs);
- Frequently: Bending over, lifting (25lbs or less), carrying (25lbs or less);
- Continuously: Sitting, standing, walking, talking, repetitive use of hands/arms/legs, hand/eye coordination, fine manipulation, concentrating on tasks, handling stress and emotions, examining/observing details, making decisions, and remembering details.

ORDINANCE NO. _____

AN ORDINANCE AMENDING AND SUPPLEMENTING SCHEDULE "A" OF THE CITY'S CLASSIFICATION AND COMPENSATION PLAN, AS SET FORTH IN EMERGENCY ORDINANCE NO. EOR2020-1-6, ADOPTED JANUARY 15, 2020, TO ESTABLISH THE NEW CLASSIFICATION OF SYSTEMS ENGINEER AND TO DELETE THE CLASSIFICATION OF ASSISTANT MANAGER OF TRANSMISSION & DISTRIBUTION OPERATIONS.

WHEREAS, the Administration of the City of Hamilton, Ohio recommends that the position of Assistant Manager of Transmission & Distribution Operations be eliminated; and

WHEREAS, the Administration of the City of Hamilton, Ohio recommends that the classification of Systems Engineer be established; and

WHEREAS, Administration recently combined Public Works and utilities into the Department of Infrastructure and has eliminated positions to better streamline work and communication throughout the organization. As a result, Administration is recommending pay range adjustments to reflect the change in responsibility; and

WHEREAS, The employee currently in the Assistant Manager of Transmission & Distribution Operations position will be reclassified to the proposed Systems Engineer position; and

WHEREAS, the proposed Systems Engineer position will better reflect the duties and responsibilities required of this position. The position of Systems Engineer will be used to manage capital projects, from inception to completion, in the City electric system. This will include, and not be limited to, design, budgeting, and construction management. This position will report directly to the Director of Utility Operations; and

WHEREAS, to accomplish the aforesaid it is necessary to amend existing Schedule "A" of the City's Classification and Compensation Plan as set forth in Emergency Ordinance No. EOR2020-1-6, adopted January 15, 2020; and

WHEREAS, this Council desires that said amendment be made;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That Schedule "A" of the City's Classification and Compensation Plan, as set forth in Emergency Ordinance No. EOR2020-1-15, adopted January 15, 2020, be and is hereby amended to delete the classification of Assistant Manager of Transmission & Distribution Operations and to establish the classification of Systems Engineer as set forth in detail below.

<u>Class Code</u>	<u>Title</u>	<u>Pay Range</u>	<u>Annual Salary Minimum – Maximum</u>
6065	Systems Engineer	58	\$87,693 - \$112,445

SECTION II: This ordinance shall take effect and be in full force from and after the earliest period allowed by law after its passage.

PASSED: _____

Effective Date: _____

ATTEST: _____

City Clerk

Mayor

Ordinance No. _____ (cont'd)

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Mallory Greenham, Department of Economic Development
Jacob Stone, Department of Neighborhoods

Agenda Item: An Emergency Ordinance amending and supplementing the approved application, Ordinance No. OR2018-3-27, establishing a Designated Outdoor Refreshment Area (DORA) in the City of Hamilton, Ohio by expanding said DORA Boundary.

Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	Related Strategic Goal(s) <input checked="" type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input checked="" type="checkbox"/> R Generate recreational investments <input checked="" type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
Ordinance or Resolution <i>Emergency Ordinance</i>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-10-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input checked="" type="checkbox"/> Public Hearing Date: 6-10-2020	
Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i>	City Council (or other): Caucus Report 5-27-2020 City Council Meeting	
Contract	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
Fiscal Impact	Budgeted: \$0	<i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i>
	Expenditure: \$2,500	
	Source Funds: 0	

Policy Issue

Does City Council wish to adopt legislation approving the expansion of the Designated Outdoor Refreshment Area (DORA) and amending the regulations associated with the DORA in the City of Hamilton, Ohio?

Policy Alternative(s)

Council may choose not to adopt such legislation to make changes to the DORA and maintain the DORA boundary and regulations as they currently exist.

Staff Recommendation

Staff recommends that Council receive this report and adopt legislation approving the expansion of the Designated Outdoor Refreshment Area (DORA) and amending the regulations associated with the DORA in the City of Hamilton, Ohio.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- ORC 4301.82, Designated Outdoor Refreshment Areas

Fiscal Impact Summary

The City anticipates recouping the costs incurred to put in signs, posts, and trash cans through the sale of DORA cups. DORA cups cost the City \$0.19/cup and are sold to local retailers for \$0.90/cup. The difference of \$0.71/cup is used to recover any direct costs incurred by the City in the administration of the DORA, or to otherwise benefit the operations within the DORA.

Since the DORA was established in 2018, more than 35,000 DORA cups have been distributed. The City anticipates DORA cup sales will continue to increase.

Background Information

The City of Hamilton City Council established a Designated Outdoor Refreshment Area (“DORA”) in February 2018. A DORA is an area where the open carry restrictions do not apply at particular hours, and adults ages 21 and over are permitted to possess and consume alcohol in public, with certain restrictions. The purpose of the City’s DORA is to support small business development and provide a quality of life amenity for residents and visitors.

Hamilton’s DORA has been successful overall. Many Hamilton small businesses have stated that the DORA has had a positive economic impact on their operations, Economic Development staff employ the DORA as a business attraction strategy, and the DORA attracts Hamilton residents and visitors from around Butler County to downtown Hamilton. Police Chief Bucheit has stated there have not been any significant public safety issues related to the DORA. There have been minor issues with DORA cup litter, but City staff have worked to address these – adding trash cans where needed and educating the small businesses on keeping the areas surrounding their businesses clean. Because of its success, Hamilton’s DORA has served as a model for a number of DORAs around the State of Ohio.

DORA Boundary Expansion

Because of the DORA’s positive impact on downtown Hamilton, City staff are proposing to expand the DORA boundaries to encourage additional positive development within the expansion areas. See Attachment #1 for the description of the proposed DORA expansion. Generally, the expansion includes:

- The 100 to 300 blocks of South B Street
- the 500 to 1000 blocks of High Street
- Black Street Bridge and 555 North Third Street.

The Black Street Bridge and 555 N Third Street are recommended to be suspended DORA areas similar to North B Street and the Spooky Nook Sports Champion Mill areas. These suspended DORA areas would be activated when restaurant and retail businesses develop.

Amended Regulations: Updated DORA Application

In order to amend and expand the DORA, the City must submit an updated DORA application to the State of Ohio. City staff is also recommending a number of amendments to the regulations associated with the DORA that would be included in the DORA application. These include:



- Change the word “cup” to “container.” This change will allow businesses to utilize a wider variety of DORA containers as long as the containers abide by the regulations set forth by the Ohio Revised Code. For example, one small business has inquired about DORA containers that could carry scoops of alcohol-infused ice cream. Language is also proposed that allows the cost of these special containers to the businesses to be more flexible based on the cost to purchase special containers instead of the standard \$0.90.
- Change the regulations that require the name of the business on the cup to allowing a single standardized DORA cup. This allows City staff to buy DORA cups in greater quantities, and will eliminate the issue of businesses not having in-stock branded cups, since production and shipping times run roughly 5-6 weeks.

Attached Information

- Application to the Council of the City of Hamilton, Ohio for the expansion of the Designated Outdoor Refreshment Area, with specific boundaries, in the Downtown Central Business District, East High Street Business District, Main Street Business Corridor, and German Village.

Copies Provided to:

N/A



**Application to the Council of the City of Hamilton, Ohio for the expansion
of the Designated Outdoor Refreshment Area, with specific boundaries, in
the Downtown Central Business District, East High Street Business
District, Main Street Business Corridor, and German Village.**

Submitted May 22, 2020

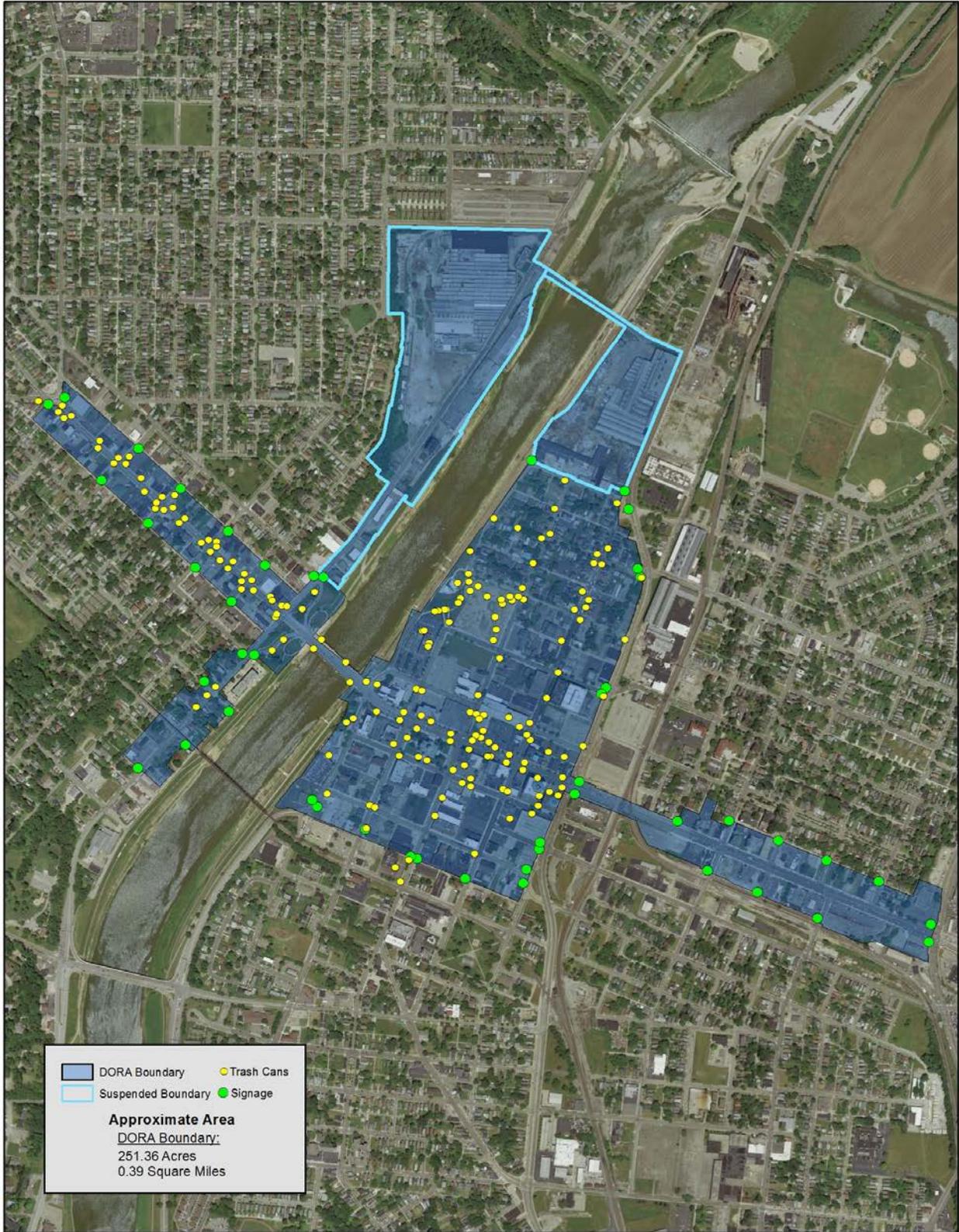
I. Introduction

The Office of the City Manager of Hamilton, Ohio, Planning Department, and the Economic Development Department respectfully submit the following application to City Council of Hamilton, Ohio to approve the expansion of the Designated Outdoor Refreshment Area (hereinafter “DORA”), pursuant to Ohio Revised Code (“ORC”) § 4301.82. The proposed application meets all the state requirements.

A DORA is an area where the open carry restrictions do not apply at particular hours, and adults are permitted to possess and consume alcohol in public, with certain restrictions. The purpose of the City’s DORA is for the economic betterment of businesses, residents, and property owners within the DORA, as well as the City of Hamilton as a whole. The expansion of the DORA will allow for additional businesses and areas to benefit, as well as assist with social distancing guidelines due to Covid-19.

Section 1 -Boundaries

In accordance with the ORC § 4301.82(B)(1)(a) and F(1)(a), the boundaries of the DORA are depicted below. The specific boundaries of the DORA, including street addresses and a map of the proposed area are further depicted in Exhibit “A” and “B” attached hereto and incorporated herein. The DORA is approximately 251.36 acres.



Section 2 - Nature and types of establishments located within the proposed DORA

In accordance with ORC § 4301.82 (B)(2), the nature and types of establishments located within the DORA are as follows:

The DORA encompasses Hamilton’s Central Business District, East High Street Business District, two historic shopping districts (Main Street and German Village), and the N & S B Street Corridor future home of the Spooky Nook Sports Complex at the Champion Mill. The Spooky Nook Sports Complex will be a mixed use development that includes a convention center, hotel, and restaurants.

Within the DORA, the majority of the buildings have retail and restaurants on their first floor. Hamilton is experiencing a resurgence of retail and restaurants in this area. The floors above have a mixture of office space, apartments, and hotel rooms. There are also institutional uses typical of a historic downtown such as the YMCA, YWCA, and park space.

Examples of the retail, dining, services, and government establishments located in the DORA:

Establishment	Address
<i>Retail</i>	
Fleurish Home	135 Main St, Hamilton, OH 45013
Pet Wants	139 Main St, Hamilton, OH 45013
Sara’s House	254 High St, Hamilton, OH 45011
<i>Dining</i>	
Basil 1791	241 High St, Hamilton, OH 45011
Neal’s Famous Barbeque	202 N 3rd St, Hamilton, OH 45011
True West	313 Main St, Hamilton, OH 45013

Establishment	Address
<i>Major Employers</i>	
First Financial Bank	300 High St, Hamilton, OH 45011
ODW Logistics	345 High St #600, Hamilton, OH 45011
STARTEK	150 High St, Hamilton, OH 45011
<i>Government</i>	
Butler County Courthouse	101 High St #3, Hamilton, OH 45011
City of Hamilton Municipal Building	345 High St, Hamilton, OH 45011
Butler County Office Building	315 High St, Hamilton, OH 45011

Residential housing within the DORA is limited, and consists primarily of urban apartments within the Downtown Central Business District. There are a limited number of single family residential units in the German Village area.

Residential housing within the DORA is limited, and consists primarily of urban apartments within

the Downtown Central Business District. There are a limited number of single family residential units in the German Village area.

Section 3 - Qualified Permit Holders

In accordance with ORC § 4301.82 (B)(3), the DORA will encompass not fewer than four qualified permit holders as defined by ORC § 4301.82 (A), which are identified as follows:

Permit Holder Address Classes Permit Number

Permit Holder	Address	Classes	Permit Number
Arches Saloon	233 S B St, Hamilton, OH 45013	D1, D2, D3, D3A	4218004
Basil 1791	241 High St, Hamilton, OH 45011	D5, D6	2320591
The Casual Pint	130 Riverfront Plaza, Hamilton, OH 45011	D1, D2, D5	39402370005
The Drink	238 Hensel Pl, Hamilton, OH 45011	D1, D2, D3, D3A, D6	2311950
Fretboard Public House	103 Main St, Hamilton, OH 45013	D5J	4959206
High Street Cafe	250 High St, Hamilton, OH 45011	D2	1465575
Lounge 24/Mona Lisa	24 S Second St, Hamilton, OH 45011	D1, D2, D3, D6	6098777
Municipal Brew Works	20 High St, Hamilton, OH 45011	A1C	6233401
Neal's	202 N 3rd St, Hamilton, OH 45011	D1, D2	6325546
North Second Bottle Tap	134 N 2nd St, Hamilton, OH 45011	D1, D2	0532330
Plaza One Grille	1 Riverfront Plaza, Hamilton, OH 45011	D5A, D6	3551583
Richard's Pizza	417 Main St, Hamilton, OH 45013	D1, D2	9530418
Roll On In/ Rise N Shine	102 Main St, Hamilton, OH 45013	D5	7346635
Tano Bistro	150 Riverfront Plaza, Hamilton, OH 45011	D1, D2, D3, D6	8478575
Taqueria El Comal	747 High St, Hamilton, OH 45011	D5, D6	6398656

Towne Pub	341 S B St, Hamilton, OH 45013	D1, D2, D3, D3A	1685195
Village Inn	447 N 2nd St, Hamilton, OH 45011	D5, D6	0033820
Wingstop	1029 High St, Hamilton, OH 45011	D1	5299620

The following establishments are anticipated future qualified permit applicants within the DORA.

Permit Holder Location Expected to open Expected to serve

Permit Holder	Location	Expected to open	Expected to serve
Chick’N Cone	Riverfront Plaza, Hamilton, OH 45011	Summer 2020	Beer, wine, and spirits
The HUB	501 Main Street Hamilton, OH 45013	Spring 2021	Beer, wine, and spirits
Pinball Garage	113 N Third Street, Hamilton, OH 45011	Summer 2020	Beer, wine, and spirits
The Revival House	241 N Third Street Hamilton, OH 45011	Spring 2021	Beer, wine, and spirits
Spooky Nook Sports at the Champion Mill	B Street Hamilton, OH 45013	Winter 2021	Beer, wine, and spirits

Section 4 - Area Impact

In accordance with ORC § 4301.82 (B)(4), evidence that the uses of land within the DORA are in accord with the master zoning map of the City of Hamilton, are as follows:

The uses of land within the proposed DORA are in accord with the City’s current master zoning map. The parcels within the DORA are zoned one of the following: Form-Based Zoning Districts Downtown 1, Downtown 2, Downtown 3, Main Street 1, Main Street 2; Main Street 3, Business 3 Central Business District, Entertainment Mixed Use Planned Development, or Business Planned Development. Restaurants that serve alcohol, bars, and nightclubs (uses that would typically utilize a DORA license) are permitted uses in all of these zoning districts, but they require a special use application in the Business Planned Development area.

The City of Hamilton adopted a new master plan, Plan Hamilton, in March 2019. The DORA plays an important role in Plan Hamilton’s Economic Development policy topic of the master plan, including the following objectives:

- Invest in programming and special events that improve quality of life and attract and retain small businesses
- Invest in a public relations strategy as an economic development strategy

Since the DORA was enacted in 2018, it has acted as an economic development tool, attracting small businesses and supporting their operations. It has also brought significant positive attention to Hamilton’s downtown area. The proposed amendments to the regulations and expansion to the DORA area aim to increase the DORA’s impact.

SOURCE: Liz Hayden, Director of Planning, City of Hamilton

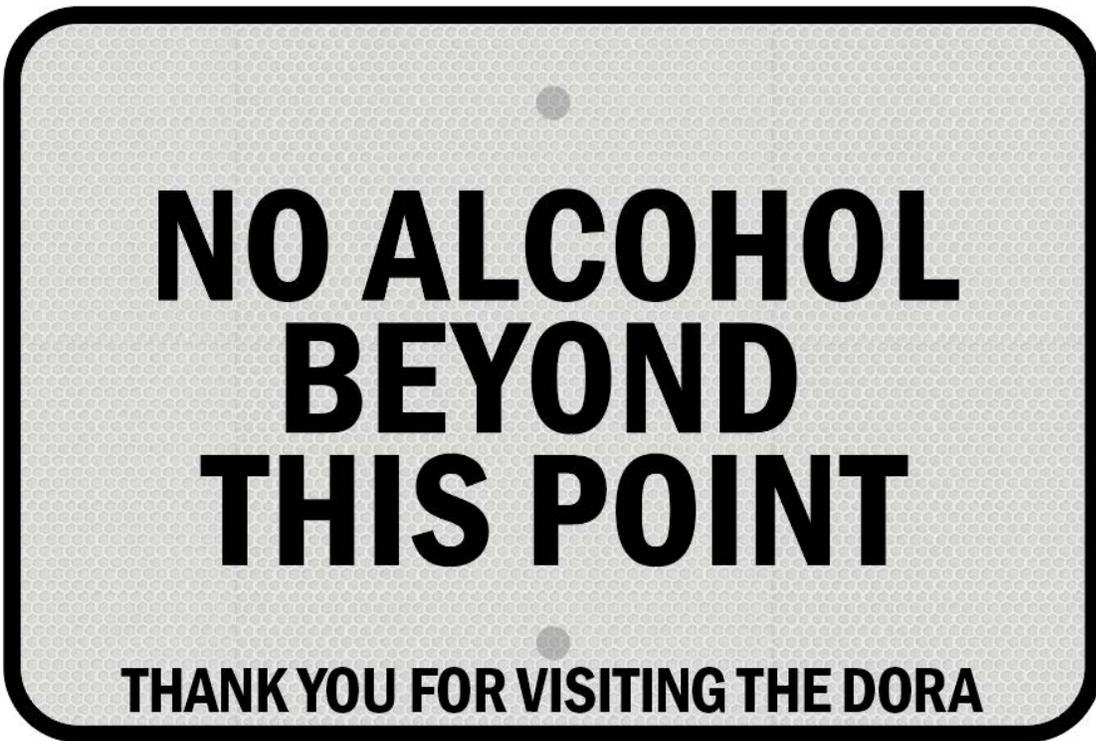
Section 5 - Signage

In accordance with the ORC § 4301.82 F(1)(b), the Traffic Operations Manager states there will be a minimum of 43 signs and anticipates there will be approximately 46 signs designating the boundary of the DORA. The location and spacing of the signs is shown on attached Exhibit “A”. The signs will be mounted and located at all street intersections along the boundary of the DORA. The content and style of this signage shall, in sum or substance, consist of the following:

Front Side of Street Signs:



Back Side of Street Signs:



Section 6 - Hours of Operation

In accordance with ORC § 4301.82 (F)(1)(c), the hours of operation for the DORA will be: Monday through Sunday, 12:00 p.m. (noon) to 12:00 a.m. (midnight).

The applicant requests that City Council reserve the right to temporarily suspend or expand DORA operations for a period of up to seven (7) days in order to accommodate special events that may occur within the boundaries of the DORA.

Section 7 - Safety Plan

In accordance with ORC § 4301.82 (B)(5) and (F)(1)(d), a Safety Plan has been developed to ensure public safety in the DORA. A copy of which is attached hereto as Exhibit "C". The Safety Plan can be executed with existing staff.

Section 8 - Sanitation Plan

In accordance with ORC § 4301.82 (B)(5), (F)(1)(e), and (F)(1)(f), a Sanitation Plan has been developed that will help maintain the appearance and public health of the area within the DORA. A copy is attached hereto as Exhibit "D". The Sanitation Plan can be executed with existing staff.

Section 9 - Official DORA Container

In accordance with ORC § 4301.82 (F)(1)(g), beer, wine, and intoxicating liquor shall only be consumed within the DORA as follows:

Beer, wine, and intoxicating liquor shall only be served and consumed within the DORA area in the official Hamilton DORA marked containers, produced and provided by the City. The containers will be distinctly marked with the Hamilton DORA logo. No other container will be permitted. Used containers must be disposed of before entering any establishment of a qualified permit holder.

The City Manager requests authority from City Council to approve the design of an official container to be used by all qualified permit holders within the DORA. The City Manager anticipates that the content and style of the containers shall, in sum or substance, consist of the following:

Front of Cup



Back of Cup

DORA BASICS

DORA = Downtown Outdoor Refreshment Area

- Hours: Noon - Midnight, 7 Days a Week
- Only alcohol bought at establishments within the district can be consumed; no outside alcohol is allowed
- Beverages from one establishment cannot be taken into another establishment or special event area which also serves alcohol
- You must stay inside of the DORA while you have this beverage

Find the map and more info at [\[website\]](#)

Hamilton DORA containers will be produced and provided by the City. Each qualified permit holder must order and purchase containers through the City in lots of 500. The price per container will be \$0.90. Any special order containers will be approved and priced by the City Manager as needed. The City Manager may withhold the sale of DORA containers to any establishment found to be in non-compliance with local, state, or federal law as advised by the Director of Public Safety.

Hamilton DORA container charges collected will only be used to fund the direct costs incurred by the City in the administration of the DORA, or to otherwise benefit the operations within of the DORA.

Section 10 - Additional Rules and Requirements

In accordance with ORC § 4301.82 (B)(5), and in conjunction with other rules, standards and requirements set forth in this application, additional rules and requirements for the purpose of ensuring public safety and health within the DORA are as follows:

- A. A person may have in the person's possession an open container of beer, wine, or

intoxicating liquor at an outdoor location within the DORA if the open container of beer, wine, or intoxicating liquor was purchased from a qualified permit holder to which both of the following apply:

1. The permit holder's premises is located within the DORA; and
2. The permit held by the permit holder has an outdoor refreshment area designation.

B. No person shall do any of the following:

1. Enter the premises of an establishment of a qualified permit holder within the DORA while possessing an open container of beer, wine, or intoxicating liquor acquired elsewhere, or
2. Possess an open container of beer, wine, or intoxicating liquor while being in or on a motor vehicle within the DORA, unless the possession is otherwise authorized under division (D) or (E) of ORC § 4301.62.

Section 11 – Request to Temporarily Suspend a Portion of the DORA

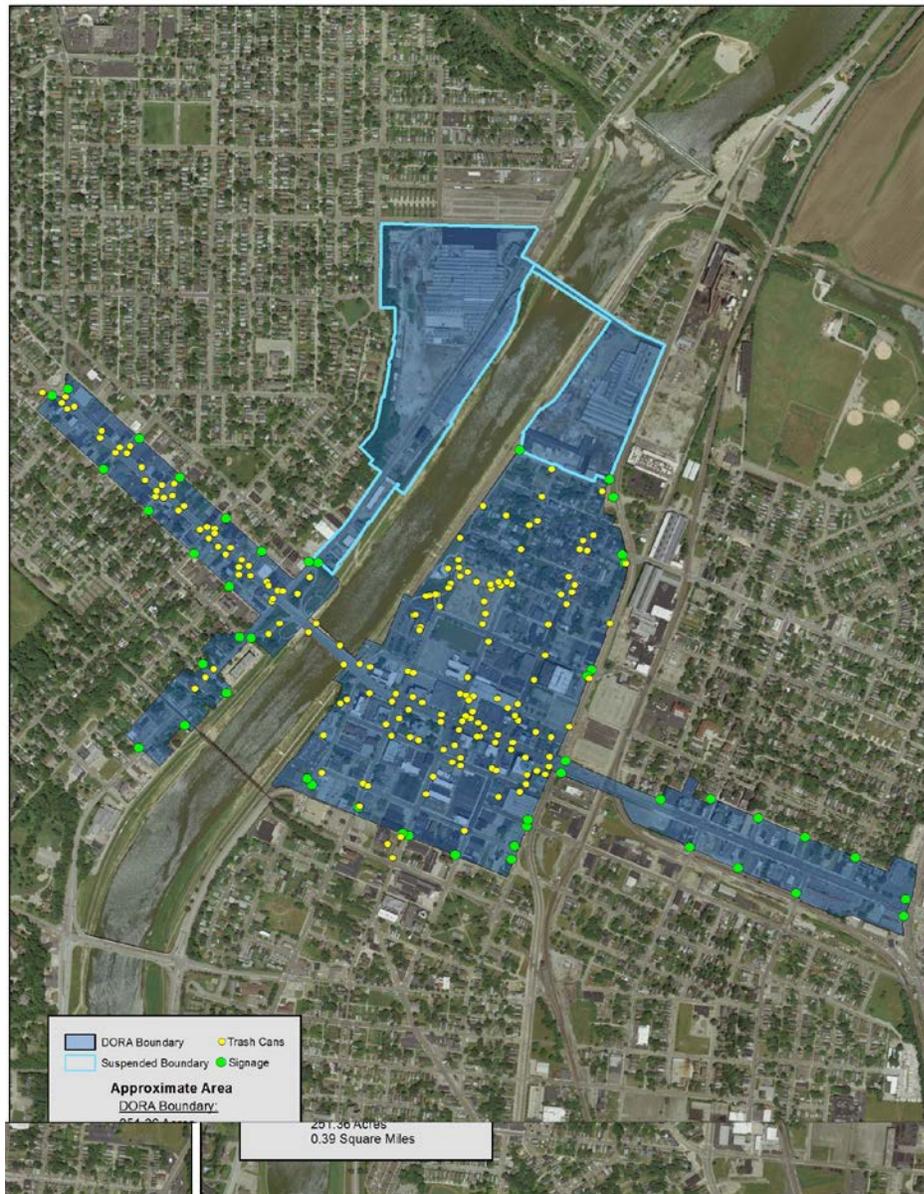
The City requests that if this application is approved and the DORA is established, City Council also approve a temporary suspension of the portion of the DORA that encompasses the future home of the Spooky Nook Sports Complex at Champion Mill pending completion of construction at that facility, as well as the Cohen Recycling site until the completion of its redevelopment. Until these areas of land are developed, it is not compatible with the DORA.

The area designated for temporary suspension of the Spooky Nook Sports Complex at Champion Mill would begin at the NW corner of Park Street and continue around the area designated for the Spooky Nook Sports Complex.

The area designated for temporary suspension of the Cohen Recycling Site would begin at the NW corner of Hensel & N Third Street and continue north to Black Street.

The areas designated for temporary DORA suspension are depicted in Exhibit "F" and Exhibit "G".

Exhibit A. Map of the Outdoor Refreshment Area



Said description contains approximately 251.36 continuous acres, or .39 miles.

SOURCE: Area certified by Rich Engle, P.E., Director of Engineering, City of Hamilton (Exhibit "H")

SOURCE: Sign placement and spacing approved by Scott Hoover, Traffic Operations Manager, City of Hamilton

Exhibit B. Street addresses of real property included in specific boundaries of the DORA

Street Name	Range	Even/odd
Arch St	6-118	Even
Buckeye St	116-345	Even & Odd
Cottage St	328	Even
Court St	23-331	Even & Odd
Dayton St	115-350	Even & Odd
Hensel Pl	105-238	Even & Odd
High St	1-1101	Even & Odd
Journal Sq	8-10	Even
Linden St	116-341	Even & Odd
Ludlow St	11-337	Even & Odd
Magnolia St	116-118	Even
Main	5-583	Even & Odd
Maple Ave	315-331	Odd
Market St	102-351	Even & Odd
N 10th St	2-21	Even & Odd
N 2nd St	102-447	Even & Odd
N 3rd St	6-449	Even & Odd
N 7th St	16-24	Even & Odd
N 8th St	22-24	Even
N 9th St	5	Odd
N B St	30-70	Even
N D St	11-19	Even & Odd
N E St	15-19	Even & Odd
N F St	15	Odd
N Martin Luther King Jr Blvd	109-337	Odd
Race St	100-319	Even & Odd
Riverfront Plaza	1-436	Even & Odd

S 2nd St	6-319	Even & Odd
S 3rd St	2-326	Even & Odd
S 4th St	309-323	Odd
S 7th St	25	Odd
S A St	341-345	Odd
S B St	9-345	Even & Odd
S C St	3-21	Even & Odd
S D St	6-20	Even & Odd
S E St	10-20	Even & Odd
S Front St	19-323	Even & Odd
S Martin Luther King Jr Blvd	205	Odd
S Monument Ave	1-316	Even & Odd
Stewart St	1019-1023	Odd
Village St	102-341	Even & Odd
Wilks Ln	334-336	Even

Exhibit C. City of Hamilton's DORA Safety Plan

The Safety Plan will help maintain public safety within the DORA, and designate the number of personnel needed to execute the Safety Plan. This will be accomplished in the following manner:

Current Public Safety personnel are adequate to maintain public safety within the DORA. The City of Hamilton Police Department (HPD) has multiple resources which will enable it to maintain public safety within the DORA to include the Downtown Central Business District, B Street Corridor, German Village, East High Street Business District, and Main Street Business District. HPD has flexibility when deploying resources and has years of experience following the development of the RiversEdge amphitheater which draws very large crowds throughout the year.

Staffing in the DORA would consist of:

1. Permanently assigned business district officer(s) will be patrolling the DORA as it is within their assigned area. These officer(s) have the ability to flex their hours on a daily basis depending on events within their assigned area of responsibility.
2. To help supplement the business district officers on a regular basis during the later evening hours, a number of businesses within the downtown CORE partner with the Police Department and pay for an extra duty officer. Again, this officer's primary responsibility is the downtown core business district and main street business district and the DORA would be located within this district.
3. HPD has a neighborhood policing unit that is composed of both uniformed and plain clothes officers that addresses quality of life issues within the City. The DORA will encompass two separate police districts, each with a neighborhood policing section officer assigned. These officers also flex their hours on a daily basis and are force multipliers during special events.
4. In addition to the above resources, HPD has permanently assigned district patrol officers to these areas 24 hours a day, 7 days a week.

Beginning with the commencement of the revised DORA, continuing for a period of six (6) months, the Director of Public Safety of the City of Hamilton, and the Chief of Police of the City of Hamilton shall actively monitor and review the Safety Plan herein for the purpose of determining whether updates, modifications, or supplementation may be advisable or required, and in said event, such changes shall be presented to Council for consideration and implementation. The Director of Public Safety of the City of Hamilton, and the Chief of Police of the City of Hamilton shall meet and review the Safety Plan as needed for any special events within the DORA or as other circumstances may require.

The Director of Public Safety and the Chief of Police of the City of Hamilton have determined that the Safety Plan described herein is sufficient to maintain public safety within the DORA. This Safety Plan can be executed with the existing personnel of the City of Hamilton.

SOURCE: Scott Scrimizzi, Executive Director of Public Safety, City of Hamilton Craig Bucheit, Chief of Police, City of Hamilton

Exhibit D. City of Hamilton's DORA Sanitation Plan

The Sanitation Plan that will help maintain the appearance and public health of the DORA, and the number of personnel needed to execute the Sanitation plan is as follows:

There are more than one hundred and sixty four (164) trash receptacles located in the proposed outdoor refreshment area, and locations are identified in the map on Exhibit "A".

The trash receptacles will be serviced by the City on a regular schedule. Additional collections will be done on an as needed basis and will be serviced by the City's refuse collection contractor. The Director of Public Works will monitor the receptacles and coordinate additional collections with the Director of Resident services, if needed.

Trash receptacles may be moved and additional trash receptacles may be added within the DORA at the discretion of the Director of Public Works. Upon approval of the Director of Public Works, additional receptacles may be added by the city or any qualified permit holder, and the servicing of such receptacles shall remain the responsibility of the installing entity.

Each qualified permit holder located within the DORA shall be responsible for the collection of litter near or around the premises occupied by the permit holder.

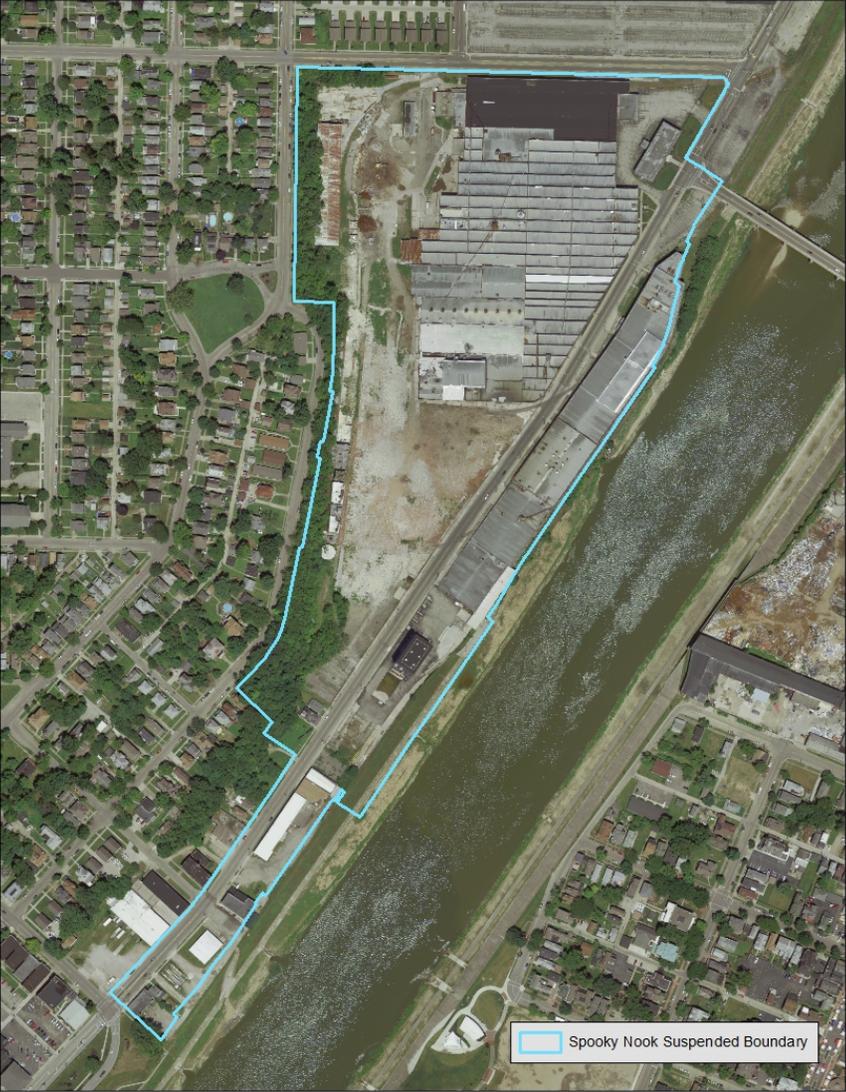
Director of Public Works, with input from Superintendent of Streets, Director of Resident Services and the Director of Planning, shall evaluate the need and frequency of street sweeping and servicing trash receptacles, and, if needed or advisable, implement changes or modifications to the sanitation plan from the commencement of the DORA until the dissolution of the DORA.

Director of Public Works, and Superintendent of Streets have determined that the Sanitation Plan described herein is sufficient to help maintain the appearance and public health within the DORA. This Sanitation Plan can be executed with the existing personnel of the City of Hamilton.

SOURCE: Director of Public Works, Jim Williams, City of Hamilton

Superintendent of Streets, Craig Koger, City of Hamilton
Adam Helms, Director of Resident Services, City of Hamilton
Liz Hayden, Director of Planning, City of Hamilton

Exhibit “F” Portion of DORA Temporarily Suspended at Spooky Nook at Champion Mill



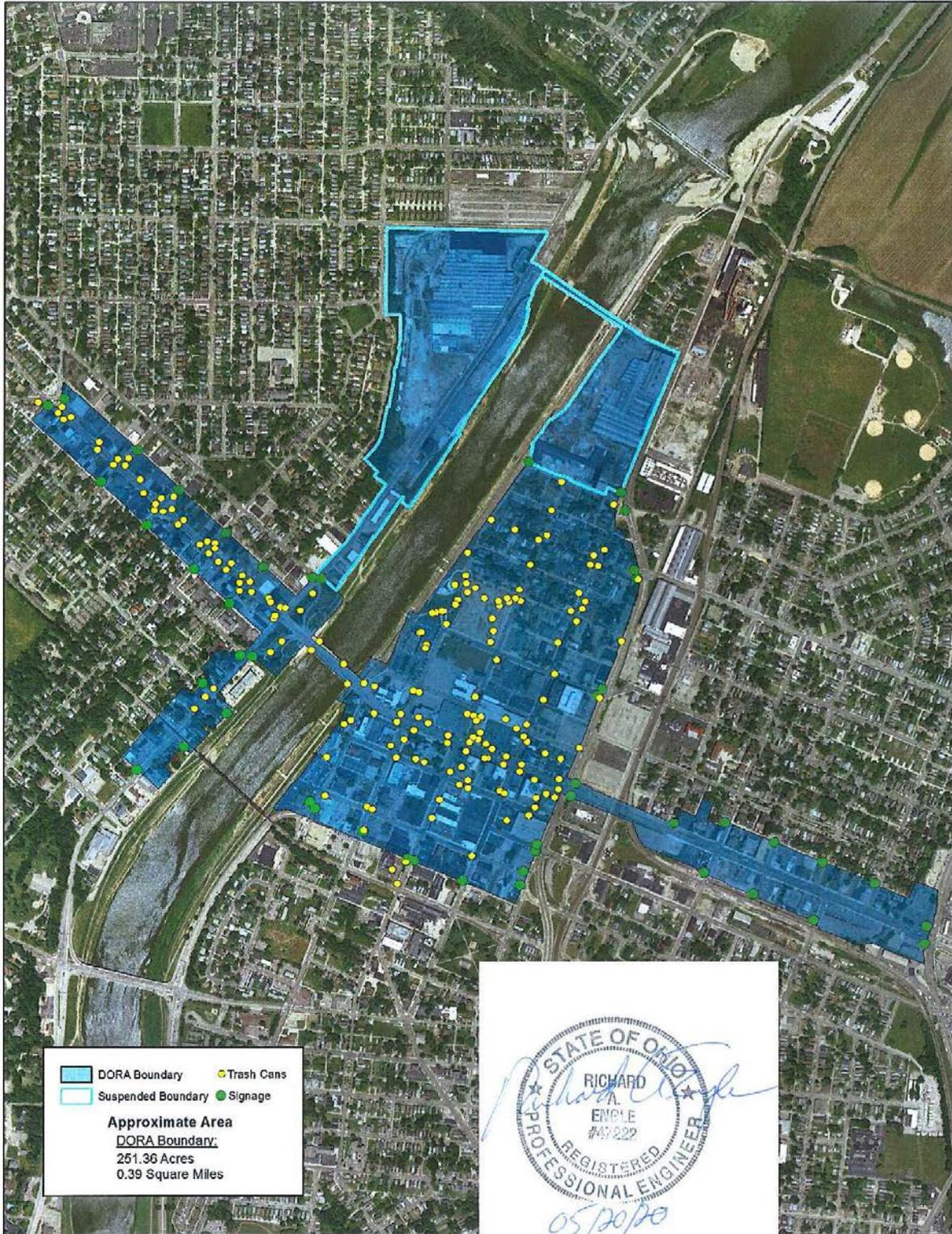
Street Name	Range	Even/odd
N B St	6100-611	Even & Odd

Exhibit “G” Portion of DORA Temporarily Suspended at Cohen Recycling



Street Name	Range	Even/odd
Black St	105	Odd
Hensel Pl	134-232	Even
N 3rd St	507-555	Odd

Exhibit "H" Certification of Acreage



EMERGENCY ORDINANCE NO. _____

AN EMERGENCY ORDINANCE AMENDING AND SUPPLEMENTING THE APPROVED APPLICATION, ORDINANCE NO. OR2018-3-27, ESTABLISHING A DESIGNATED OUTDOOR REFRESHMENT AREA IN THE CITY OF HAMILTON, OHIO BY EXPANDING SAID DORA BOUNDARY.

WHEREAS, Section 4301.82 of the Ohio Revised Code (ORC) permits a municipality to create and approve an application for a "Designated Outdoor Refreshment Area" (hereinafter "DORA") within its corporate limits; and

WHEREAS, the DORA will be given the name "Downtown Hamilton! DORA"; and

WHEREAS, the creation of the DORA within the City of Hamilton has proven to strengthen economic development in the City not only within the DORA but also in the vicinity of said area and has served to enhance the experiences of the patrons of the business establishments and special events within the DORA; and

WHEREAS, ORC Section 4301.62(C)(7) permits a person to have in the person's possession an open container of beer or liquor at an outdoor location within an outdoor refreshment area created under ORC 4301.82; and

WHEREAS, on March 27, 2018, City Council passed Ordinance No. OR2018-3-27 establishing a DORA in the City of Hamilton; and

WHEREAS, City Council finds that the DORA amended application is in compliance with ORC Section 4301.82(B), and that the DORA to be created would be in compliance with ORC Section 4301.82(D); and

WHEREAS, City Clerk published public notice of the application and the public hearing for two consecutive weeks in the Journal News newspaper on Saturday May 23, 2020 and Saturday May 30, 2020 in compliance with ORC Section 4301.82(C); and

WHEREAS, ORC Section 4301.82(F)(1) requires the City to establish requirements that the City determines necessary to ensure public health and safety in the area; and

WHEREAS, City Council is committed to generating new private investment opportunities for economic development and to allow more recreational amenities in order to increase the number of participants in special events, arts, and other City activities; and

WHEREAS, this Ordinance is hereby declared to be an emergency measure to provide for the immediate preservation of the peace, property, health or safety, the emergency being the urgent necessity of assisting local liquor serving establishments with COVID-19 social distancing guidelines and capacity limitations;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: The DORA expansion application submitted to this Council on Friday, May 22, 2020 is hereby approved.

SECTION II: This Council hereby amends the boundaries of the DORA within the City of Hamilton, specific boundaries of the area as depicted on Exhibit "A" including the street addresses within said boundaries, attached hereto and made a part hereof in accordance with ORC Section 4301.82(F)(1)(a).

SECTION III: That in order to ensure public health and safety and in accordance with ORC Section 4301.82(F)(1)(b), the number, spacing, and type of signage designating the DORA boundary shall be as set forth on Exhibit "B", attached hereto and made a part hereof.

SECTION IV: Council finds that the DORA encompasses not fewer than four (4) qualified permit holders.

Emergency Ordinance No. _____ (Cont'd)

SECTION V: The hours of operation for the DORA, which will apply to all activity within the DORA are described on Exhibit "C", attached hereto and made a part hereof, in accordance with ORC Section 4301.82(F)(1)(c).

SECTION VI: Council by Resolution, may temporarily suspend or expand hours of operation of the DORA for a period of up to seven (7) days in order to accommodate special event permitting.

SECTION VII: The Public Health & Safety Plan as described on Exhibit "D", attached hereto and made a part hereof, meets the requirements of ORC Section 4301.82(F)(1)(d), including the number of personnel needed to ensure public safety in the DORA and is hereby approved.

SECTION VIII: The Sanitation Plan that will help maintain the appearance and public health of DORA as described on Exhibit "E", attached hereto and made a part hereof, meets the requirements of ORC Section 4301.82(F)(1)(e-f), including the number of personnel needed to execute said Sanitation Plan and is hereby approved.

SECTION IX: As is required by ORC Section 4301.82(F)(1)(g), beer and intoxicating liquor shall only be served in an approved Hamilton DORA container. The City Manager is hereby authorized and directed to approve the design of official containers to be used by all qualified permit holders within the DORA.

SECTION X: City Council hereby will continue the suspension of the portion of the DORA that encompasses the future home of the Spooky Nook Sports Complex at Champion Mill depicted on Exhibit "F", attached hereto and made a part hereof, pending completion of construction at that facility. City Council will also suspend the portion of the DORA that encompasses the Cohen Recycling property as depicted on Exhibit "G", attached hereto and made a part thereof, pending redevelopment of the site.

SECTION XI: Five years from the effective date of this Ordinance, City Council shall review the operation of the DORA, as established herein, to determine whether to continue to operate the DORA under the same or modified terms and conditions, or dissolve it, pursuant to ORC Section 4301.82(H). Prior to adopting said legislation, City Council shall give notice of its proposed action by publication in a newspaper of general circulation in the City of Hamilton, once a week for two consecutive weeks in compliance with ORC Section 4301.82(H). Such review shall be repeated five years after any subsequent approval of the DORA in the same manner.

SECTION XII: At any time, City Council may, by ordinance, dissolve all or a part of the DORA, in accordance with ORC Section 4301.82(I). Prior to adopting said legislation City Council shall give notice of its proposed action by publication in a newspaper of general circulation in the City of Hamilton, once a week for two consecutive weeks in compliance with ORC Section 4301.82(I).

SECTION XIII: The Clerk of Council is authorized and directed to forward a copy of this Ordinance approving the DORA application and establishing the DORA to the Ohio Division of Liquor Control and to the investigative unit of the Department of Public Safety in accordance with ORC Section 4301.82(C) and Section 4301.82(F)(3).

SECTION XIV: This ordinance is hereby declared to be an emergency measure for the reasons set forth in the preamble and shall take effect and be in full force from and after its passage.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

Emergency Ordinance No. _____ (Cont'd)

CERTIFICATE

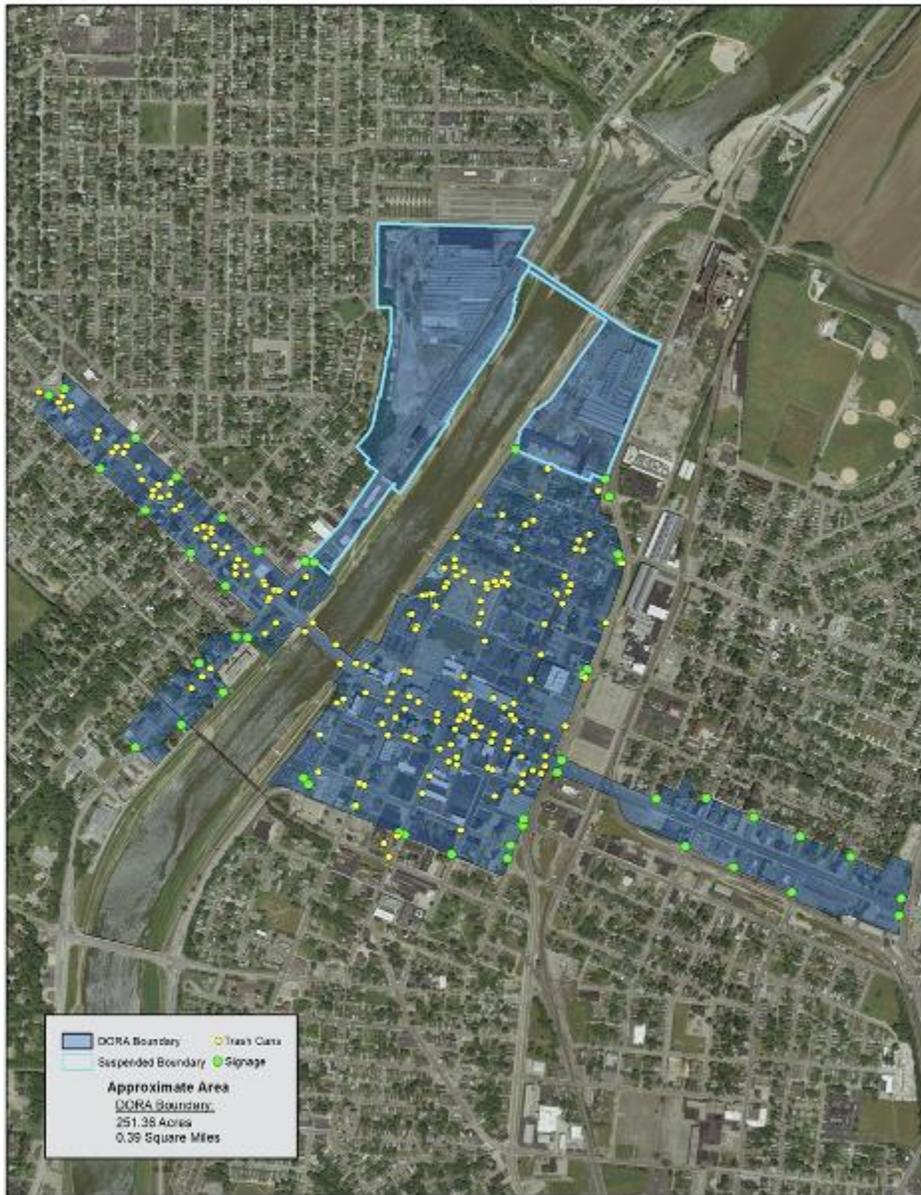
I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Emergency Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

Emergency Ordinance No. _____ (Cont'd)

EXHIBIT A

In accordance with the ORC § 4301.82(B)(1)(a) and F(1)(a), the boundaries of the DORA are depicted below.



Emergency Ordinance No. _____ (Cont'd)

Street Name	Range	Even/odd
Arch St	6-118	Even
Buckeye St	116-345	Even & Odd
Cottage St	328	Even
Court St	23-331	Even & Odd
Dayton St	115-350	Even & Odd
Hensel Pl	105-238	Even & Odd
High St	1-1101	Even & Odd
Journal Sq	8-10	Even
Linden St	116-341	Even & Odd
Ludlow St	11-337	Even & Odd
Magnolia St	116-118	Even
Main St	5-583	Even & Odd
Maple Ave	315-331	Odd
Market St	102-351	Even & Odd
N 10th St	2-21	Even & Odd
N 2nd St	102-447	Even & Odd
N 3rd St	6-449	Even & Odd
N 7th St	16-24	Even & Odd
N 8th St	22-24	Even
N 9th St	5	Odd
N B St	30-70	Even
N D St	11-19	Even & Odd
N E St	15-19	Even & Odd

Emergency Ordinance No. _____ (Cont'd)

N F St	15	Odd
N Martin Luther King Jr Blvd	109-337	Odd
Race St	100-319	Even & Odd
Riverfront Plaza	1-436	Even & Odd
S 2nd St	6-319	Even & Odd
S 3rd St	2-326	Even & Odd
S 4th St	309-323	Odd
S 7th St	25	Odd
S A St	341-345	Odd
S B St	9-345	Even & Odd
S C St	3-21	Even & Odd
S D St	6-20	Even & Odd
S E St	10-20	Even & Odd
S Front St	19-323	Even & Odd
S Martin Luther King Jr Blvd	205	Odd
S Monument Ave	1-316	Even & Odd
Stewart St	1019-1023	Odd
Village St	102-341	Even & Odd
Wilks Ln	334-336	Even

Said description contains approximately 251.36 continuous acres, or .39 miles.

SOURCE: Area certified by Rich Engle, P.E., Director of Engineering, City of Hamilton (Exhibit "H")

SOURCE: Sign placement and spacing approved by Scott Hoover, Traffic Operations Manager, City of Hamilton

Emergency Ordinance No. _____ (Cont'd)

EXHIBIT B

In accordance with the ORC § 4301.82 F(1)(b), the Traffic Operations Manager states there will be a minimum of forty-three (43) signs and anticipates there will be approximately forty-six (46) signs designating the boundary of the DORA. The location and spacing of the signs is shown on attached Exhibit "A". The signs will be mounted and located at all street intersections along the boundary of the DORA. The content and style of this signage shall, in sum or substance, consist of the following:

Front Side of Street Signs:



Back Side of Street Signs:



Emergency Ordinance No. _____ (Cont'd)

EXHIBIT C

Hours of Operation

In accordance with ORC § 4301.82 (F)(1)(c), the hours of operation for the DORA will be: Monday through Sunday, 12:00 p.m. (noon) to 12:00 a.m. (midnight).

The applicant requests that City Council reserve the right to temporarily suspend or expand DORA operations for a period of up to seven (7) days in order to accommodate special events that may occur within the boundaries of the DORA.

EXHIBIT D

City of Hamilton's DORA Safety Plan

The Safety Plan will help maintain public safety within the DORA, and designate the number of personnel needed to execute the Safety Plan. This will be accomplished in the following manner:

Current Public Safety personnel are adequate to maintain public safety within the DORA. The City of Hamilton Police Department (HPD) has multiple resources which will enable it to maintain public safety within the DORA to include the Downtown Central Business District, B Street Corridor, German Village, East High Street Business District, and Main Street Business District. HPD has flexibility when deploying resources and has years of experience following the development of the RiversEdge amphitheater which draws very large crowds throughout the year.

Staffing in the DORA would consist of:

1. Permanently assigned business district officer(s) will be patrolling the DORA as it is within their assigned area. These officer(s) have the ability to flex their hours on a daily basis depending on events within their assigned area of responsibility.
2. To help supplement the business district officers on a regular basis during the later evening hours, a number of businesses within the downtown CORE partner with the Police Department and pay for an extra duty officer. Again, this officer's primary responsibility is the downtown core business district and main street business district and the DORA would be located within this district.
3. HPD has a neighborhood policing unit that is composed of both uniformed and plain clothes officers that addresses quality of life issues within the City. The DORA will encompass two separate police districts, each with a neighborhood policing section officer assigned. These officers also flex their hours on a daily basis and are force multipliers during special events.
4. In addition to the above resources, HPD has permanently assigned district patrol officers to these areas 24 hours a day, 7 days a week.

Beginning with the commencement of the revised DORA, continuing for a period of six (6) months, the Director of Public Safety of the City of Hamilton, and the Chief of Police of the City of Hamilton shall actively monitor and review the Safety Plan herein for the purpose of determining whether updates, modifications, or supplementation may be advisable or required, and in said event, such changes shall be presented to Council for consideration and implementation. The Director of Public Safety of the City of Hamilton, and the Chief of Police of the City of Hamilton shall meet and review the Safety Plan as needed for any special events within the DORA or as other circumstances may require.

The Director of Public Safety and the Chief of Police of the City of Hamilton have determined that the Safety Plan described herein is sufficient to maintain public safety within the DORA. This Safety Plan can be executed with the existing personnel of the City of Hamilton.

SOURCE:

Scott Scrimizzi, Executive Director of Public Safety, City of Hamilton
Craig Bucheit, Chief of Police, City of Hamilton

Emergency Ordinance No. _____ (Cont'd)

EXHIBIT E

City of Hamilton's DORA Sanitation Plan

The Sanitation Plan that will help maintain the appearance and public health of the DORA, and the number of personnel needed to execute the Sanitation plan is as follows:

There are more than one hundred and sixty four (164) trash receptacles located in the proposed outdoor refreshment area, and locations are identified in the map on Exhibit "A".

The trash receptacles will be serviced by the City on a regular schedule. Additional collections will be done on an as needed basis and will be serviced by the City's refuse collection contractor. The Director of Public Works will monitor the receptacles and coordinate additional collections with the Director of Resident services, if needed.

Trash receptacles may be moved and additional trash receptacles may be added within the DORA at the discretion of the Director of Public Works. Upon approval of the Director of Public Works, additional receptacles may be added by the city or any qualified permit holder, and the servicing of such receptacles shall remain the responsibility of the installing entity.

Each qualified permit holder located within the DORA shall be responsible for the collection of litter near or around the premises occupied by the permit holder.

Director of Public Works, with input from Superintendent of Streets, Director of Resident Services and the Director of Planning, shall evaluate the need and frequency of street sweeping and servicing trash receptacles, and, if needed or advisable, implement changes or modifications to the sanitation plan from the commencement of the DORA until the dissolution of the DORA.

Director of Public Works, and Superintendent of Streets have determined that the Sanitation Plan described herein is sufficient to help maintain the appearance and public health within the DORA. This Sanitation Plan can be executed with the existing personnel of the City of Hamilton.

SOURCE:

Director of Public Works, Jim Williams, City of Hamilton
Superintendent of Streets, Craig Koger, City of Hamilton
Adam Helms, Director of Resident Services, City of Hamilton
Liz Hayden, Director of Planning, City of Hamilton

Emergency Ordinance No. _____ (Cont'd)

EXHIBIT F

Portion of DORA Temporarily Suspended at Spooky Nook at Champion Mill



Emergency Ordinance No. _____ (Cont'd)

Street Name	Range	Even/odd
-------------	-------	----------

N B St

6100-611

Even & Odd

Emergency Ordinance No. _____ (Cont'd)

EXHIBIT G

Portion of DORA Temporarily Suspended at Cohen Recycling

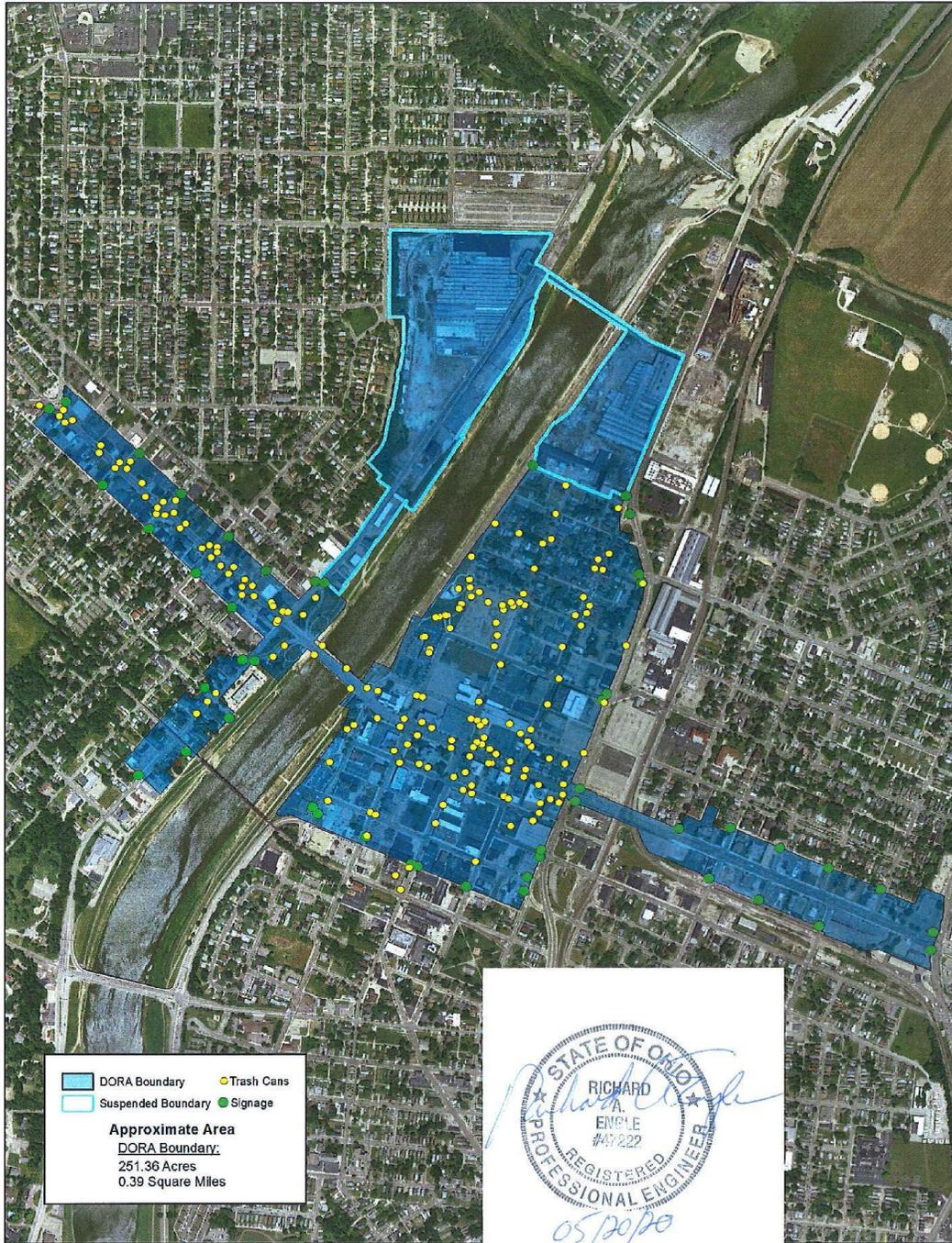


Emergency Ordinance No. _____ (Cont'd)

Street Name	Range	Even/odd
Black St	105	Odd
Hensel Pl	134-232	Even
N 3rd St	507-555	Odd

EXHIBIT H

Certified Area



SOURCE: Area certified by Rich Emple, P.E., Director of Engineering, City of Hamilton

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (420 Short Street).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 7-22-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 6-10-20 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$ Expenditure: \$ Source Funds:</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 420 Short Street to Sheila Wilburn who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 420 Short Street to Sheila Wilburn keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 420 Short Street to Sheila Wilburn because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 420 Short Street was acquired by the City of Hamilton from Butler County through forfeited land sale. The property is eligible for the side lot program and is in an urban renewal area. Sheila Wilburn owns the property at 418 Short Street and seeks to expand the yard by purchasing said property for One Hundred and 00/100 Dollars. (\$100.00) through the City's Side Lot Program.

Address	Parcel Identification
420 Short Street, Hamilton, OH	P6421022000082

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (420 Short Street).

WHEREAS, the City of Hamilton, Ohio has received a request from Sheila Wilburn to acquire a property acquired from Butler County through forfeited land sale and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Sheila Wilburn; and

WHEREAS, no other eligible contiguous property owner applied to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to certain standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Sheila Wilburn and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired from Butler County through forfeited land sale, which is more fully described below to the applicant for One Hundred 00/100 Dollars (\$100.00), subject to the terms of a Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies.

Purchaser	Address	Parcel Identification
Sheila Wilburn	420 Short Street	P6421022000082

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

Ordinance No. _____ **(cont'd)**

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to certain standards and requirements, subject to the conditions set forth herein.

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

EXHIBIT NO. 1



Areas
420 Short St

Exhibit #1



City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Lauren Nelson, Business Development Specialist

Agenda Item: An ordinance approving the conveyance of certain real property acquired through the Land Bank to an adjoining property owner as a sidelot. (805 Belle Avenue).

Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	Related Strategic Goal(s) <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
Ordinance or Resolution <i>Ordinance</i>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 7-22-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i>	City Council (or other): Caucus Report 6-10-20 City Council Meeting	
Contract	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
Fiscal Impact	Budgeted: \$	<i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i>
	Expenditure: \$	
	Source Funds:	

Policy Issue

Does City Council wish to adopt legislation to convey the vacant lot at 805 Belle Avenue to Kimberly Saylor who owns property contiguous to this lot?

Policy Alternative(s)

Council may choose not to adopt such legislation to convey the vacant lot at 805 Belle Avenue to Kimberly Saylor keep the property and maintain the lot.

Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to convey the vacant lot at 805 Belle Avenue to Kimberly Saylor because it would help lessen density in the urban core, encourage home ownership, and increase property values.



Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 175.10, Disposition of Property, Hamilton Codified Ordinance and Land Bank Policies and Procedures
- Land Reutilization Policies and Procedures, R2012-10-49

Fiscal Impact Summary

The City will reduce future financial responsibilities for maintenance of this property.

Background Information

The property at 805 Belle Avenue was acquired by the City of Hamilton from the Butler County Land Reutilization Corporation (Land Bank) in April 2020. The property is eligible for the side lot program and is in an urban renewal area. Kimberly Saylor owns the property at 803 Belle Avenue and seeks to expand the yard by purchasing said property for One Hundred and 00/100 Dollars (\$100.00) through the City’s Side Lot Program.

Address	Parcel Identification
805 Belle Avenue, Hamilton, OH	P6461041000007

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CONVEYANCE OF CERTAIN REAL PROPERTY ACQUIRED THROUGH THE LAND BANK TO AN ADJOINING PROPERTY OWNER AS A SIDELOT. (805 Belle Avenue).

WHEREAS, the City of Hamilton, Ohio has received a request from Kimberly Saylor to acquire a property acquired through the Butler County Land Reutilization Corporation (Land Bank) and located in the City's Urban Renewal Area for the purposes as set forth in detail below; and

WHEREAS, City Administration has determined that this property, acquired through the Land Bank, is not needed for a public purpose, is located in an Urban Renewal Area and is contiguous to the residential property owned by Kimberly Saylor; and

WHEREAS, no other eligible contiguous property owner applied to acquire this Property pursuant to the Land Reutilization Policies and Procedures set forth in Resolution No. R2012-10-49, adopted October 24, 2012 ("Land Reutilization Policies") has requested said property; and

WHEREAS, pursuant to Section 175.10 of the City of Hamilton Codified Ordinances, City owned property in an urban renewal area which is not to be retained by the City in accordance with the Urban Renewal Plan may be disposed of with Council's approval, by sale under certain circumstances as are determined to be necessary and appropriate to carrying out the purpose of the Urban Renewal Plan; and

WHEREAS, City Administration has determined that acquisition costs should be waived and that the property should be sold to the applicant for One Hundred and 00/100 Dollars (\$100.00); and

WHEREAS, pursuant to the Land Reutilization Policies, it is also necessary to authorize the City Manager to execute a Land Bank Property Transfer Agreement with each purchaser to ensure that the purchaser maintain the property according to Land Bank standards and requirements; and

WHEREAS, Council determines that the conveyance of this property will meet the City goals of lessening density, encouraging home ownership, eliminating blight within the City, and increasing property values; and

WHEREAS, Council desires to authorize the conveyance of the ownership of this City-owned property to Kimberly Saylor and to authorize and direct the City Manager to take all actions necessary to effect such conveyance;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That this Council hereby declares its intent to sell the following City-owned property acquired through the Land Bank, which is more fully described below to the applicant for One Hundred 00/100 Dollars (\$100.00), subject to the terms of a Land Bank Transfer Agreement, and waives any additional acquisition costs pursuant to the Land Reutilization Policies

Purchaser	Address	Parcel Identification
Kimberly Saylor	805 Belle Avenue	P6461041000007

SECTION II: That this Council hereby finds that the conveyance of said property is in the public interest, comports with the City's Urban Renewal Plan and is made pursuant to the Land Reutilization Policies.

SECTION III: That the City Manager is authorized and directed to execute any and all documents necessary to effect this conveyance, including but not limited to a Land Bank Property Transfer Agreement, with the purchaser to ensure that the purchaser maintains the property according to Land Bank standards and requirements, subject to the conditions set forth herein.

SECTION IV: That this conveyance shall be subject to any easements currently of record and any easement determined necessary by the City for any utility purposes.

Ordinance No. _____ (cont'd)

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

EXHIBIT NO. 1



Areas
805 Belle Ave

Exhibit #1



City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Daniel Tidyman, Associate City Planner

Agenda Item: An ordinance amending Part Nine, Title One, Street and Sidewalk Areas of the Codified Ordinances of the City of Hamilton, adding a new Chapter 917 Sidewalk Café Regulations.

Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	Related Strategic Goal(s) <input checked="" type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input checked="" type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
Ordinance or Resolution <i>Ordinance</i>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 7-22-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i>	City Council (or other): 5-20-2020 Ordinance Review Commission Meeting Caucus Report 6-10-2020 City Council Meeting	
Contract	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
Fiscal Impact	Budgeted: \$1,000	<i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i>
	Expenditure: \$1,000	
	Source Funds:	

Policy Issue

Does City Council wish to adopt legislation amending Part Nine – Streets, Utilities and Public Service Code , Title One – Street and Sidewalk Areas, of the Codified Ordinances by adding new Chapter 917 of the City of Hamilton, Ohio regarding Sidewalk Café Regulations?

Policy Alternative(s)

Council may choose not to adopt such legislation amending Part Nine of the Codified Ordinances, Nine – Streets, Utilities and Public Service Code , Title One – Street and Sidewalk Areas, by adding new Chapter 917 Sidewalk Café to the Codified Ordinances of the City of Hamilton, Ohio regarding Sidewalk Café Regulations. If Council does not adopt such legislation, businesses will still be required to maintain a minimum of four feet (4') of clearance per ADA regulations. Businesses would be able to occupy the sidewalk without any design requirements or operational standards.



Staff Recommendation

Planning Staff recommends that Council receive this report and adopt the legislation adding Chapter 917 to Part Nine – Streets, Utilities and Public Service Code , Title One – Street and Sidewalk Areas of the Codified Ordinances of the City of Hamilton, Ohio regarding Sidewalk Café Regulations to help encourage economic growth for local restaurants.

Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton
- Section 3.10, Amendments, of the Charter of the City of Hamilton

Fiscal Impact Summary

The fiscal impact associated with this ordinance is related to cost to create these regulations. This includes staff time and legal review. The one time application fee of One Hundred and Fifty and 00/100 Dollars (\$150.00) will cover the cost of review for sidewalk café applications.

Background Information

The City of Hamilton Engineering and Planning Departments are proposing a new section to the Hamilton Municipal Code regarding Sidewalk Cafes.

Required Approvals

This new legislation will provide regulations that allow businesses to extend their business into the sidewalk while maintaining ADA guidelines and design criteria that is complementary to the streetscape.

Permits and license agreements will be required prior to businesses operating on the sidewalk. The license agreement will provide details outlining the extent of the permissions to operate the sidewalk café.

Application and Submittal Requirements

Applicants will submit a development summary and contact information for the business and property owner. A site plan indicating items such as boundaries, proposed/existing improvements on the sidewalk, frontage of the building, and distances from obstructions in the sidewalk such as trees, benches, etc.

Fencing will be anchored to the building and sections will be bolted together to form a solid fence. Fencing materials will be designed to fit the form, character, and aesthetics of the existing building. All sidewalk café furniture shall be made of durable materials designed for commercial outdoor use and shall be approved by City Staff. No banners fixed to the fencing will be permitted.

Operational Conditions

The hours, activities, and sidewalk café hours will comply with noise regulations as defined in Section 509.13, Loud Noise Inside and Outside Entertainment Places, of the Hamilton Codified Ordinances. Sidewalk café operators will be required to abide by all applicable federal, state, and local laws, rules and regulations.

Insurance:

The operator will be required to provide evidence of commercial general liability insurance and will maintain insurance coverage while operating the sidewalk café. The Department of Engineering will inspect the sidewalk café and improvement prior to issuing the sidewalk café permit to ensure all permit requirements are met.

Termination

Should the license agreement be terminated, fixtures and improvements will be removed from the site within thirty (30) days of termination. Any new operator will be required to submit a new sidewalk café permit and enter into a



license agreement with the City of Hamilton prior to operating a sidewalk café.

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE AMENDING PART NINE, TITLE ONE, STREET AND SIDEWALK AREAS OF THE CODIFIED ORDINANCES OF THE CITY OF HAMILTON, ADDING A NEW CHAPTER 917 SIDEWALK CAFE REGULATIONS.

WHEREAS, the City of Hamilton Municipal Code Part Nine - Streets Utilities and Public Services Code, Title One - Street and Sidewalk Areas provides regulations; and

WHEREAS, after periodic review, Staff determined a need for updating specific portions of the City of Hamilton Municipal Code; and

WHEREAS, Staff determined a need for revision of Part Nine - Streets Utilities and Public Services Code. Title One - Street and Sidewalk Areas, the intent of which is to provide regulations for encroachments and/or improvements in the public right of way; and

WHEREAS, Staff determined a need for creating a new section specifically for sidewalk café regulations; and

WHEREAS, this new section would regulate features of the café such as location, fencing, and furniture, while maintaining four feet (4') of clearance; and

WHEREAS; the sidewalk café regulations will have operational conditions that will require compliance with noise regulations found in Section 509.13, Loud Noise Inside and Outside Entertainment Places, of the City of Hamilton Codified Ordinances; and

WHEREAS, The Sidewalk Café regulations will require compliance with all applicable federal, state, and local laws, including but not limited to, the United States Americans with Disabilities Act (ADA), and with the City of Hamilton Codified Ordinances and State of Ohio Regulations; and

WHEREAS, The Ordinance Review Commission (ORC) reviewed the proposed regulations at the on May 20, 2020 meeting and recommended City Council approval; and

WHEREAS, this Council desires to adopt such text amendments to the City's Streets, Utilities, and Public Services Code as proposed;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That Part Nine, Streets, Utilities, and Public Services Code, is hereby amended as set forth in Exhibit No.1 attached hereto, incorporated herein by reference and made a part.

SECTION II: This ordinance shall take effect and be in full force from and after the earliest period allowed by law after its passage.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

Ordinance No. _____ (Cont'd)
CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

EXHIBIT NO. 1

CHAPTER 917

Sidewalk Cafe Regulations

917.01 Definitions.

917.02 Permit and License Agreement Required.

917.03 Required Approvals.

917.04 Application Submittal Requirements.

917.05 Operational Conditions.

917.06 Insurance.

917.07 Termination.

917.09 Fees.

917.01 DEFINITIONS.

- (a) "Sidewalk cafe" means an outdoor dining area located on a sidewalk in a public right-of-way which is adjacent to and associated with a street-level eating and drinking establishment. Outdoor eating and drinking establishment areas located on private property shall not be considered sidewalk cafes and are not subject to sidewalk cafe regulations.
- (b) "Permittee" refers to an individual or entity who has received the requisite approval from the City to operate a sidewalk café.

917.02 PERMIT AND LICENSE AGREEMENT REQUIRED.

A property owner or tenant who desires to operate a sidewalk cafe shall submit an application to the City setting forth the required information, documentation and materials set forth in this Ordinance. If an application is approved by the City, the City shall issue a permit to the applicant to operate the sidewalk cafe. The City and the Permittee shall enter into a license agreement outlining the extent of the Permittee's permission to operate the sidewalk cafe.

917.03 REQUIRED APPROVALS.

A sidewalk cafe shall be permitted as an accessory use of property primarily used for the operation of a street-level eating and drinking establishment, provided the sidewalk cafe complies with all applicable federal, state, and local laws, including, but not limited to, the United States Americans with Disabilities Act, and with the Hamilton Codified Ordinances and State of Ohio regulations.

917.04 APPLICATION SUBMITTAL REQUIREMENTS.

The following items are required when applying to the City for a permit to operate a sidewalk cafe:

- (a) Development summary including the following:
 - (1) Name and type of the adjacent street-level business associated with the sidewalk cafe; along with information indicating if the primary street-level business is new or existing.
 - (2) Property address.
 - (3) Applicant's name, phone number, and email address.
 - (4) Property owner's name, phone number, address, and email address.

Ordinance No. _____ (Cont'd)

(b) A site plan drawing, with dimensions, showing the following:

- (1) Boundaries and barriers of the sidewalk cafe.
- (2) Street, curb, sidewalk, property lines and all existing/proposed improvements in the sidewalk area.
- (3) Frontage of the building or tenant space for the primary street-level business associated with the proposed sidewalk cafe, as well as adjacent buildings and tenant spaces.
- (4) The distance between any obstruction (parking meters, lights, signs, utility boxes, mailboxes, benches, trees, tree grates, etc.) in the sidewalk area to the nearest perimeter of the sidewalk cafe. A minimum distance of five (5) feet of open space is required between each obstruction and the nearest perimeter of the sidewalk cafe in order to facilitate pedestrian traffic on the sidewalk.
- (5) If a proposed sidewalk cafe design includes fencing employing a swing gate, the following information shall be provided: (i) direction the swing gate opens; (ii) swing gate opening radius; and (iii) width of swing gate entrance. Swing gates are prohibited from projecting beyond the delineated perimeter of the sidewalk cafe.
- (6) The approved means of egress from the existing building, which shall not be blocked, diminished, altered or in any way inhibited as a result of the new sidewalk cafe.
- (7) Table and seating layout.

(c) Design:

- a. Fencing will be anchored to the building with the fence sections bolted together so it is a solid fence. Boundaries shall be secured and immovable. Anchoring to the sidewalk is prohibited.
 - b. Fencing shall be made of durable materials which are designed for commercial use and shall complement the form, character and aesthetics of the existing building. Boundary design and material shall be approved by City Staff. Metal is the preferred material.
 - c. All sidewalk cafe furniture shall be made of durable materials designed for commercial outdoor use and shall be approved by City Staff. Plastic furniture will be reviewed on a case by case basis but is not a recommended material.
 - d. Banners or signs affixed to the fencing around a sidewalk cafe are expressly prohibited.
 - e. No vending machines, carts or objects for the sale of goods shall be permitted inside the approved sidewalk cafe premises.
- (d) In the event the applicant for a sidewalk cafe permit leases the property or premises in which it operates the primary street-level business, the applicant shall submit a written document signed by the property owner through which the property owner acknowledges its approval of the sidewalk cafe.
- (e) If the Permittee plans to serve alcohol in the sidewalk cafe premises, the Permittee must follow the proper protocol with the Ohio Department of Liquor Control to include the sidewalk cafe as part of the Permittee's liquor permit and submit documentation as part of the sidewalk cafe permit application. Alternatively, if the Permittee does not include the sidewalk cafe as part of its liquor permit, but the sidewalk cafe is within the Designated Outdoor Refreshment Area (DORA), the Permittee shall submit a written statement with the sidewalk cafe permit application confirming that all alcohol served in the sidewalk cafe area will be served in a DORA cup and maintain compliance with OR2018-3-27.

Ordinance No. _____ (Cont'd)

- (f) A one (1) time permit application fee of One Hundred and Fifty and 00/100 Dollars (\$150.00).

917.05 OPERATIONAL CONDITIONS.

- (a) Sidewalk cafe hours, music, and related activities shall comply with all City of Hamilton Ordinances, including the regulations found in Section 509.13, Loud Noise Inside and Outside Entertainment Places, of the City of Hamilton Municipal Code.
- (b) All sidewalk cafe operators shall be required to abide by all federal, state and local laws, rules and regulations applicable to the operation of the sidewalk cafe in the City of Hamilton.

917.06 INSURANCE.

- (a) The Permittee shall furnish a certificate of insurance evidencing commercial general liability insurance with limits not less than \$1,000,000.00 per occurrence, \$2,000,000.00 in the aggregate combined single limit for bodily injury, personal injury and property damage liability. The insurance shall provide for thirty (30) days prior written notice to be given to the City of Hamilton if coverage is substantially changed, canceled, or non-renewed.
- (b) Each Permittee shall maintain the insurance coverage required under this section at all times while the permit is in effect. The certificate(s) of insurance shall be presented to the Zoning Administrator prior to the issuance of a permit under this section. Failure of the Permittee to maintain the insurance required by this section shall result in revocation of the sidewalk cafe permit.
- (c) A sidewalk cafe permit will not be issued to an applicant until after the Department of Engineering has conducted a site inspection and approved the sidewalk cafe, and all sidewalk cafe fixtures and improvements placed therein, to ensure that the sidewalk cafe and all sidewalk cafe elements meet all permit requirements.

917.07 TERMINATION.

- (a) Should the license agreement between the City and the Permittee be terminated for any reason, it will be the responsibility of the Permittee to remove all fixtures and improvements placed in the sidewalk cafe premises within thirty (30) days of such termination.
- (b) In the event a new operator assumes ownership of the business associated with a pre-existing sidewalk cafe, the new operator must submit a new sidewalk cafe permit application, receive a new permit and enter into a new license agreement with the City prior to operating the sidewalk cafe.
- (c) Any material changes, as determined by the City in its sole discretion, to the approved sidewalk cafe permit plans and conditions of approval will void the sidewalk cafe permit and operation of the sidewalk cafe must immediately cease. A new sidewalk permit must be obtained prior to reopening the sidewalk cafe.

917.09 FEES.

- (a) A one (1) time fee of One Hundred and Fifty and 00/100 Dollars (\$150.00) will be required for the sidewalk cafe permit.

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Durrena Smith & Tomika Hedrington, Finance Department
Neighborhood Development Division

Agenda Item: An ordinance approving the City of Hamilton’s Substantial amendment – Annual Action Plan Update for Fiscal Year 2019-2020, delineating the statement of objectives and proposed use of Community Development Block Grant-CV (CDBG-CV) Program Funds, and authorizing the submittal of said plan to the United States Department of Housing and Urban Development of said plan to the United States Department of Housing and Urban Development; to accept and appropriate up to \$855,817 in CDBG-CV Funds. (City of Hamilton, Applicant).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input checked="" type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date: 6-24-2020	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): Caucus Report 6-10-2020 City Council Meeting</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Budgeted: \$ Expenditure: \$ Source Funds:</p>	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to approve the Substantial Amendment of the Annual Action Plan 2019-2020?

Policy Alternative(s)

Council may choose not to adopt such legislation approving the Substantial Amendment of the Annual Action Plan 2019-2020?



Staff Recommendation

Staff recommends that Council receive this report and adopt the legislation to approve the Substantial Amendment of 2019-2020 funds. A public hearing was held virtually on June 18, 2020 via Zoom Meeting to receive public input.

Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Federal 24 CFR 91.220 provides authority for Council to take this action.

Fiscal Impact Summary

The City's current fiscal impact includes staff time allotted to preparation of the Substantial Amendment and virtual public meeting.

The Finance Department & Neighborhood Development Division estimates that the City will receive CDBG-CV \$855,817.00.

Background Information

The Finance Department & Neighborhood Development Division have completed a PY 2020-2021 Annual Action Update as required by the U.S. Department of Housing and Urban Development (HUD) for the City of Hamilton's Community Development Block Grant (CDBG) and HOME Investment Partnerships Program (HOME).

The City was notified that a special allocation of Community Development Block Grant funds to be used to prevent, prepare for, and respond to the coronavirus (COVID-19) would be made available. This allocation was authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act), Public Law 116-136, which was signed by President Trump on March 27, 2020, to respond to the growing effects of this historic public health crisis.

The preparation and adoption of a Substantial Amendment is a HUD requirement in order to access the allocation. The local unit of government utilizes the Annual Action Plan, update, and amendment processes to gather information, identify issues/priorities, and assist in making local funding decisions for CDBG and HOME dollars.

A Substantial Amendment has been defined as and includes the following: major budget adjustments related to financial resources (e.g. reallocation of funds, addition of funds from HUD), reimbursements, repayments, recaptures, and/or program income, reallocation of program dollars exceeding 10%, a proposed change in the allocation or selection criteria for programs, verbiage concerning HOME funds and allocations; and lastly the addition and/or removal of programs.

As part of the Substantial Amendment, the City contacted the City's Health Department Director and local nonprofits to determine the community's needs as they relate to the COVID-19 Pandemic. Appropriate and eligible nonprofit organizations were contacted to discuss services necessary to prevent, prepare for, and respond to the pandemic.

The Finance Department - Neighborhood Development Division continues to strengthen relationships with City of Hamilton departments and appropriate agencies to implement eligible activities to prevent, prepare for, and respond to the coronavirus pandemic as is required by HUD for use of the CDBG-CV fund allocation.

The City also hosted one (1) virtual public input meeting as part of the preparation of the Substantial Amendment. The meeting took place on June 18, 2020:

Topic: PY 2019-2020 City of Hamilton CARES Act Amendment
Time: Jun 18, 2020 02:00 PM Eastern Time (US and Canada)
Join Zoom Meeting



<https://us04web.zoom.us/j/75871802870?pwd=cGVPOGtORHludjFPN3Uwc28wNlpUZz09>
Meeting ID: 758 7180 2870
Password: 3s2V7b

Attached Information

- Draft PY 2019-2020 Substantial Amendment

Copies Provided to:

N/A



City of Hamilton

BUTLER COUNTY OHIO



Annual Action Plan

Fiscal Year 2019 – 2020

City of Hamilton
Finance Department
Neighborhood Development Division
345 High Street
Hamilton, Ohio 45011

Submit to U.S. Dept. of Housing & Urban Development
Spring, 2019



Amended in the Summer of 2020 to add CDBG-CV CARES Act funds in the FY 2019-2020 Annual Action Plan.

Executive Summary

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

Amendment

The City of Hamilton is submitting an amendment to the PY 19-20 City of Hamilton CARES Act Amendment funds due to the addition of CDBG-CV funds in the amount of \$855,817 granted by HUD during the Spring of 2020. The City does not anticipate receiving HOME funds, and anticipates using the CARES Act funds to prepare, prevent, and respond to events caused by COVID-19.

Public Health

The City of Hamilton's Health Department has requested approximately \$478,000 to purchase protective equipment, testing supplies, possibly antibody tests, to secure accommodations for first responders and persons experiencing homelessness or other vulnerable populations for isolation and quarantine, as well as to address other healthcare needs as deemed allowable.

Public Facilities

The City anticipates utilizing approximately \$200,000 CARES Act funds to develop a screening desk on the 1st floor of the building. It is anticipated that the area will be utilizing to safely address the utility, permit, taxation, and other public requests in an area that is safe to both City staff and local residents.

Public Services

Two local nonprofits have proposed the use of funds to provide remote education and supply distribution to an extremely low/low-income area of the City and also to provide short-term utility and rental assistance to residents affected by COVID.

FY 2019-2020

The City of Hamilton submitted the Annual Action Plan for Fiscal Year 2019-2020 in accordance with the 24CFR 91.222. The Annual Action Plan identifies the activities to be funded with Community

Development Block Grant (CDBG) resources received during the program year. The City of Hamilton anticipates that approximately \$1,433,787 was received in CDBG funds and approximately \$375,150 in HOME funds. The City will continue to concentrate its Community Development efforts in four (4) principles areas: Housing, Economic Development, Public Services, and Public Facility Improvements.

The Annual Action Plan covers both CDBG and HOME program funded projects for the 2019-2020 Program Year for the period of May 1, 2019 through April 30, 2020.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

Amendment

The proposed amendment and addition of CARES Act funds will aid the City in preparing, preventing, and responding to COVID-19.

FY 2019-2020 AAP

The City of Hamilton has identified the below listed outcomes through the Annual Action Plan Update process:

- Encourage a healthy, safe, viable, affordable housing stock;
- Partner with a Continuum of Care that easily transitions the homeless population to permanent housing;
- Aid in creating stable, growing, permanent employment opportunities for all city residents;
- Encourage public Services that provide assistance to city residents to become more self-sufficient; and
- Public Facility and Infrastructure Improvements that address and meet the needs of city residents.

The goals, objectives, and related outcomes are listed in the 2017-2021 Strategic Plan. Each were chosen based upon comments and information received during the Public Meeting process, prior years' performance evaluations and needs analysis, current housing market analysis, leverage of funds, City Manager and staff input, and the City's Vision 2020 Comprehensive Plan Update.

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

Amendment

In regards to the amended CDBG-CV funds the City as never received funds under this allocation in the past.

FY 2019-2020 AAP

The City feels strongly that an appropriate and efficient delivery system is in place to carry out past, present, and future activities identified in the Annual Action Plan.

The City has maintained the necessary and required Community Development Block Grant (CDBG) timeliness ratios; HOME rules on reserved, committed and expended funds have been met. The City continues to desk monitor on a monthly basis and site-visit on an annual basis all subrecipients. At times, it is necessary to conduct weekly desk monitoring of subrecipients. New subrecipients may receive two site-visit monitoring sessions during the program year. Subrecipients that have not performed for any reason are evaluated in writing. If non-performing subrecipients cannot or will not meet its agreement obligations, the City terminates its agreement. The City does not allow these subrecipients to apply for future funding until it demonstrates its ability to accomplish obligations. Very rarely has the city had subrecipients who have not complied.

The vast majority of quantifiable evaluation numbers in Integrated Disbursement and Information System (IDIS) have been met. If numbers (goals) are not met, in all cases, justified reasons have been given and accepted by HUD. The City periodically reviews IDIS measures, program goals and overall performance. These reviews are done to ensure that goals, objectives and priorities are being met.

Evaluation of past performance has led the City to the understanding that the development and maintenance of the City's affordable housing stock is imperative to community development and quality of life. The City aspires to continue minor home repair and housing rehabilitation/stabilization. The City will continue to work with partner agencies to develop affordable housing units for very-low/low income residents. Additionally, the City will continue to clear vacant, unsafe, and blighted residential nuisance properties that adversely impact the health, safety, and welfare of residents.

Evaluation of past performance has also revealed that it is necessary to focus efforts in public service, make improvements to public facilities, and to expand economic development opportunities. The City focuses its efforts in public service to address the unique needs of low to moderate income (LMI) individuals/families in the jurisdiction. The City understands the continued need to concentrate efforts and funds in fair housing, homeless services, affordable public transportation, youth recreation, and crime victim advocacy. The City has found through past performance and evaluation that there is a need for improvements to public facilities and infrastructure. As a result, the City will commit funds to make public improvements that provides reliable services and compliments the City's neighborhoods. In regards to economic development the City will support programs that encourage investments, retain and create jobs, revitalize business districts and increase employment-training opportunities. The City

will continue to provide access to the Revolving Loan Fund (RLF) to key business and start-up investments.

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

Amendment

The City of Hamilton has requested "waivers" for CDBG and HOME due to the COVID Pandemic. The waivers have allowed the City to conduct virtual Public Meetings and shorten the public comment period to 5-days.

FY 2019-2020 AAP

The City of Hamilton has worked to create an effective Citizen Participation Process to ensure the appropriate, effective and comprehensive use of Community Development Block Grant (CDBG) and HOME funds. The City uses a four (4) point approach to engage active citizen participation (conducting a total of 4 public meetings) in the Consolidated Planning process which includes a needs assessment survey, public input meetings, draft Consolidated and/or Annual Action Plan comment period, and finally two (2) public hearings. As a means of attaining the feedback of residents residing in high poverty/low income areas of the jurisdiction, the City made efforts to conduct meetings in these said income areas (e.g. YMCA Booker T Washington Community Center, Heaven Sent Event Center, and Neighborhood Housing Services).

The City of Hamilton continues to make efforts to ensure that all citizens, regardless of language barriers and physical ability, are provided an opportunity to participate in the formulation of both the Consolidated Plan and Annual Action Plan. These efforts include the following:

1. Public Meeting Notification flyers printed in English and Spanish;
2. Spanish and American Sign Language (ASL) translation available upon request at all public meetings/hearings and;
3. Extensive consultation with Butler County Homeless Coalition in quarterly meetings;
4. Coordination and posting of Public Meeting Notification Flyers in English and Spanish with local service agencies.

Additionally, all facilities, offices and public/semi-public spaces used for citizen participation are fully accessible for those with physical limitation.

The City of Hamilton continues to make efforts to ensure that all citizens, regardless of language barriers and physical ability, are provided an opportunity to participate in the formulation of both the Consolidated Plan and Annual Action Plan. These efforts include the following:

- Public Meeting Notification flyers printed in English and Spanish;
- Online Needs Assessment Survey;
- Spanish and American Sign Language (ASL) translation available upon request at all public meetings/hearings;
- Extensive consultation with Butler County Homeless Coalition in quarterly meetings and;
- Coordination and posting Public Meeting Notification Flyers in English and Spanish with local service agencies.

Additionally, all facilities, offices, and public and semi-public spaces used for citizen participation are fully accessible for those with physical limitations.

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

Amendment

FY 2019-2020 AAP

The City of Hamilton utilized a survey method and also public meetings to gather feedback concerning community needs. One of the survey methods utilized was Google Surveys. Approximately 1765 emails were sent to persons who work, play, or live in the City of Hamilton. The email provided a link to a survey on Google Surveys. Of the 1765 persons emailed, approximately 116 responded and completed the survey. Below is a summary of the responses:

Online Survey Results:

Public Services & Housing Needs

Drug/Substance Abuse (99) - Significant Need;

Mental Health (82) - Significant Need;

Youth Services/Programs (81) - Significant Need;

Employment/Job Training (73) - Significant Need;

Services for the Homeless (72) - Significant Need.

Public Infrastructure and Facilities Improvement Needs

Youth Centers (65) - Significant Needs;

Homeless Facilities (64) - Significant Need;

Street Repaving/Repair (64) - Significant Need;

Neighborhood Business District Improvements (62) - Moderate Need;

Water/Sewer Improvements (61) - Moderate Need.

Mail Survey Results:

Public Services and Housing Needs

Drug/Substance Abuse Services (129) - Significant Need;

Crime Prevention (111) - Significant Need;

Mental Health Services (110) - Significant Need;

Elderly/Senior Services (105) - Significant Need;

Services for Battered Women & Children (101) - Significant Need.

Public Infrastructure and Facilities Improvement Needs

Street Repaving/Repair (163) - Significant Need;

Storm Water (Drainage) Improvements (109) - Low Need;

Sidewalk Repair/Installation (84) - Moderate Need;

Youth Center (79) - Moderate Need;

Senior Centers (78) - Moderate Need.

6. Summary of comments or views not accepted and the reasons for not accepting them

The City of Hamilton acknowledges all comments received pertaining to the Annual Action Plan. The summary of public comments received reveals that the highest priority/needs in the City of Hamilton are

the Emergency Minor Home Repair Program, Drug/Substance Abuse Services, Mental Health, Street Repaving/Repair, Youth Centers, Crime Awareness/Prevention, Housing Rehabilitation, the Removal/Demolition of Unsafe/Dangerous or Abandoned Buildings, and the Economic Vitality of Downtown.

As a result of the above comments and limited funding availability, the City has chosen to address issues surrounding Youth Centers, Crime Awareness/Prevention, Housing Rehabilitation, the need for the Emergency Minor Home Repair Program, the Removal/Demolition of Unsafe/Dangerous or Abandoned Buildings, and the Economic Vitality of Downtown. Additionally, the City plans to address the Safety, Drug/Substance Abuse concerns, and Services for the Elderly by committing funds to the City of Hamilton's Fire Department/Rapid Response Systems.

7. Summary

The City of Hamilton has requested "waivers" for CDBG and HOME due to the COVID Pandemic. The waivers have allowed the City to conduct virtual Public Meetings and shorten the public comment period to 5-days.

Amendment Process:

The City may amend its approved plan whenever it makes one of the following decisions:

- To make a change in its allocation priorities or a change in the method of distribution of funds;
- To carry out an activity, using funds from any program covered by the consolidated plan (including program income, reimbursements, repayment, recaptures, or reallocations from HUD), not previously described in the Action Plan; or
- To change the purpose, scope, location, or beneficiaries of an activity.

A **Substantial Amendment** has been defined as and includes the following:

- Major budget adjustment related to financial resources (e.g. reallocation of funds; reimbursements, repayments, recaptures, and/or program income);
- Reallocation of program dollars exceeding 10%;
- A proposed change in the allocation or selection criteria for programs;
- Verbage concerning HOME funds and allocation;
- Addition and/or removal of programs.

The City not only follows HUD requirements, but also the locally adopted amendment procedure. The following adopted procedures will be followed:

- The City will receive an amendment in writing from either a sub-recipient or appropriate staff member. The written amendment will clearly state the reason for the change, the amount of the change, the beneficiary impact as well as any other pertinent information;
- The City will determine whether the amendment request is consistent with the stated and approved local Annual Action Plan and Consolidated Plan;
- The City will make a determination whether to proceed with the proposed amendment;
- The City will publish via social media that an amendment is being considered and where a copy of the written request is available for public review;
- The City will allow a thirty (30) day public comment period; this period will commence upon the date of publication.

In summary, the City anticipates committing funds for Clearance/Demolition, Housing, Economic Development, Public Services, and Public Facilities. Investments in Clearance/Demolition will aid in addressing the need for Clearance & Demolition. Housing projects will aid in increasing the Location/type of affordable housing and the Availability of affordable units. Economic Development commitments will potentially increase economic development opportunities and employment within the City. Public Services commitments have the potential of addressing an array of concerns identified through public feedback. While Public Facilities commitments will aid in improving the overall safety of the City, improve the City's response to Drug/Substance Abuse emergencies, and also improve quick response to emergencies related to the increasing elderly population.

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role		Name	Department/Agency
CDBG Administrator	HAMILTON	Finance Dept./Neighborhood Development Division	
HOME Administrator	HAMILTON	Finance Dept./Neighborhood Development Division	

Table 1 – Responsible Agencies

Narrative (optional)

The City of Hamilton's Neighborhood Development Division, a subsidiary of the Finance Department, administers the Consolidated Plan, Annual Action Plan, and CAPER.

Consolidated Plan Public Contact Information

Tomika Hedrington, Neighborhood Development Specialist

City of Hamilton Neighborhood Development Division

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Hamilton, OH 45011

(513) 785-7024

Tomika.hedrington@hamilton-oh.gov

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AP-10 Consultation – 91.100, 91.200(b), 91.215(I)

1. Introduction

Substantial Amendment

City contacted the City's Health Department Director and local nonprofits to determine the community's needs as they relate to the COVID-19 Pandemic. Appropriate and eligible nonprofit organizations were contacted to discuss services necessary to prevent, prepare for, and respond to the pandemic.

AAP 2019-2020

The priority needs for the Consolidated Plan and Annual Action Plan are determined by consultation with citizens, social service agencies, housing assistance providers and City Council. The five-year Strategic Plan for Hamilton specifies the types of activities that will be pursued based upon available resources. The highest priority needs in Hamilton include Drug/Substance Abuse Services, Youth Services Programs, Employment/Job Training, Mental Health Services, Crime Awareness/Prevention, Public Facilities/Infrastructure Improvements, and the City's Minor Home Repair Program. Housing projects in the jurisdiction will be ongoing and other associated projects will continue to be held at a high priority.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I))

Substantial Amendment

The City hosted one (1) virtual public input meeting as part of the preparation of the Substantial Amendment. The meeting took place on June 18, 2020:

Topic: PY 2019-2020 City of Hamilton CARES Act Amendment

Time: Jun 18, 2020 02:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us04web.zoom.us/j/75871802870?pwd=cGVPOGtORHludjFPN3Uwc28wNlpuZz09>

Meeting ID: 758 7180 2870

Password: 3s2V7b

Annual Action Plan 2019-2020

The City of Hamilton consults with subrecipients, public and assisted housing providers and developers, social service agencies, as well as other government industries regarding coordination efforts in the jurisdiction. The jurisdiction maintains a productive and cooperative partnership with the local housing authority (Butler Metropolitan Housing Authority).

The jurisdiction works cooperatively with the Butler County Housing and Homeless Coalition to ensure priority needs of homeless persons/families and those suffering from mental illness. The jurisdiction has worked to ensure that all aspects of the "Continuum of Care" are being adequately addressed. As a result, the jurisdiction will continue to support aspects of the "Continuum". The City works with local nonprofits that provide direct public services that not only include housing assistance but also health, crime reduction, homeless prevention (e.g. Serve City), fair housing (H.O.M.E.), and transportation services (BCRTA).

Local government coordination and cooperation occurs in the form of consultation and project implementation. The City of Hamilton cooperates with Butler and Hamilton counties to obtain accurate information concerning persons with HIV/AIDS and the homeless. Lead-based paint hazard reduction is coordinated with the state of Ohio.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The City of Hamilton works cooperatively with the Butler County Housing and Homeless Coalition to ensure priority needs of homeless persons and families. The City has worked to ensure that all aspects of the Continuum of Care are being adequately addressed. The City will continue to support aspects of the Continuum, and will do so by participating as an active board member.

The City of Hamilton, as a member of the Butler County Homeless and Housing Coalition, has identified the following objectives to assist the homeless:

1. Create new and permanent beds for chronically homeless persons;
2. Increase the percentage of homeless persons staying in permanent housing;
3. Increase percentage of homeless persons moving from temporary to permanent housing;
4. Increase percentage of homeless persons becoming employed; and
5. Ensure the Continuum of Care has a functional HMIS System.

In addition to collaborating with the local Continuum of Care the City will address the needs of homeless persons and persons at risk for homelessness by collaborating with local service and housing providers to identify and address needs.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Hamilton is an active participant in the Butler County Housing and Homeless Coalition (BCHHC). The BCHHC has applied and receives funding through the balance of State Continuum of Care process. The City participates in monthly BCHHC board meetings and anticipates continuing to work with the BCHHC and local agencies to develop a community wide policy for working collaboratively to remedy the issue of homelessness in the community.

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdiction's consultations with housing, social service agencies and other entities

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Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	Neighborhood Housing Services
	Agency/Group/Organization Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City of Hamilton consulted with Neighborhood Housing to attain feedback concerning the housing needs of residents in the jurisdiction. The City received information concerning single family needs within the jurisdiction. NHH was also conducted to determine the needs of the community as they relate to utility/rental payment assistance needed within the community.
2	Agency/Group/Organization	Heaven Sent
	Agency/Group/Organization Type	Public Meeting Venue Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Economic Development
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Heaven Sent is a public meeting venue for local residents of the City of Hamilton. The venue is frequented for public meetings, events, etc. Feedback was received regarding the City improvements and needed services/resources.

3	Agency/Group/Organization	SERVE CITY
	Agency/Group/Organization Type	Housing Services - Housing Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-Victims of Domestic Violence Services-homeless Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Homeless Needs - Chronically homeless Homelessness Needs - Veterans
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City of Hamilton consulted with staff of SERVE City to determine the needs of homeless individuals and families within the jurisdiction. The City anticipated that it would receive information and feedback regarding the needs and services necessary to effectively serve the homeless population.
4	Agency/Group/Organization	Great Miami Valley YMCA
	Agency/Group/Organization Type	Services-Children Services-Elderly Persons Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Great Miami Valley YMCA was consulted to determine the needs of low-income individuals, children, and families within the jurisdiction.

5	Agency/Group/Organization	Fitton Center for Creative Arts
	Agency/Group/Organization Type	Community Arts Center Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Community Arts Center
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Fitton Center for Creative Arts was consulted to provide feedback concerning needed community programs for low -income children, adults, and seniors.
6	Agency/Group/Organization	BOOKER T WASHINGTON COMMUNITY CENTER
	Agency/Group/Organization Type	Services-Children Services-Elderly Persons Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Local Community Center
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Representatives from Booker T. Washington Community Center were consulted to determine the needs of low-income residents within the 2nd, 6th, and 5th wards of the jurisdiction.
7	Agency/Group/Organization	Historic Hamilton, Inc
	Agency/Group/Organization Type	Public Service Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service

	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Historic Hamilton was consulted to determine the public service needs of the jurisdiction's residents.
8	Agency/Group/Organization	SELF (SUPPORTS TO ENCOURAGE LOW-INCOME FAMILIES)
	Agency/Group/Organization Type	Services - Housing Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Employment Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Housing Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	S.E.L.F was consulted to attain feedback concerning the needs (housing, employment services, etc.) of persons/families residing in the City.
9	Agency/Group/Organization	Partners in Prime
	Agency/Group/Organization Type	Services-Elderly Persons Regional organization Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service

	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Partners in Prime was consulted to gather feedback concerning care and services for elderly persons residing in the City of Hamilton.
10	Agency/Group/Organization	Butler County Historical Society
	Agency/Group/Organization Type	Other government - County Public Service Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Butler County Historical Society was consulted to determine the public service needs of the jurisdiction's residents.
11	Agency/Group/Organization	The Center for Family Solutions
	Agency/Group/Organization Type	Services-Children Services-Persons with Disabilities Services-Health Services-Education Services-Employment Regional organization Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service

	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Center for Family Solutions was consulted to determine the wellness, support services, and health needs of the local jurisdiction.
12	Agency/Group/Organization	Saint Paul Miracle Center
	Agency/Group/Organization Type	Services-Children Foundation
	What section of the Plan was addressed by Consultation?	Homeless Needs - Families with children
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Saint Paul Miracle Center was consulted to determine the public service needs of the residents in the City of Hamilton.
13	Agency/Group/Organization	Hamilton Parks Conservancy
	Agency/Group/Organization Type	Services-Children Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Hamilton Parks Conservancy was consulted to determine the public service and public facilities (e.g. education, recreation, etc.) needs of the communities youth.
14	Agency/Group/Organization	PEOPLE WORKING COOPERATIVELY
	Agency/Group/Organization Type	Housing Neighborhood Organization

	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	People Working Cooperatively was consulted to determine the housing needs of individuals and families within the City of Hamilton.
15	Agency/Group/Organization	Christ Temple Church
	Agency/Group/Organization Type	Public Service Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Christ Temple Church was consulted to gather feedback concerning the public service needs of the community.
16	Agency/Group/Organization	Community First
	Agency/Group/Organization Type	Services-Health Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Public Service
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Community First was consulted to determine the public service (e.g. Behavioral Health, addiction, etc.) needs of the residents in the City of Hamilton.

Identify any Agency Types not consulted and provide rationale for not consulting

The City of Hamilton consulted with organizations and representatives that could provide applicable and experienced feedback concerning the jurisdiction's housing, homeless, development, and support service needs.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Butler County Housing & Homeless Coalition	Butler County is applying for a renewal grant for additional units of Shelter Plus Care rental assistance to serve chronically homeless single adults with qualifying disabling conditions. Butler County's and the Continuum of Care's efforts align with the jurisdiction's efforts to support and create housing opportunities for homeless and disabled individuals in the community.

Table 3 – Other local / regional / federal planning efforts

Narrative (optional)

Substantial Amendment

As part of the Substantial Amendment, the City contacted the City's Health Department Director and local nonprofits (e.g. Salvation Army, Open Door Food Pantry, Neighborhood Housing Services, Inc., etc.) to determine the community's needs as they relate to the COVID-19 Pandemic. Appropriate and eligible nonprofit organizations were contacted to discuss services necessary to prevent, prepare for, and respond to the pandemic.

Annual Action Plan

The City of Hamilton has and plans to continue to consult with various housing providers, community representatives, service providers, business owners, and citizens during the Consolidated Plan and Annual Action Plan processes.

AP-12 Participation – 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

Substantial Amendment

The City conducted a 5-day public comment period by way of the local Journal News and also held a virtual Public Meeting on June 18, 2020.

Annual Action Plan

The City of Hamilton has worked to create an effective Citizen Participation Process to ensure appropriate, effective, and comprehensive use of Community Development Block Grant (CDBG) and HOME funds. The City uses a four (4) point approach to engage active citizen participation in the Consolidated Planning process which includes a needs assessment survey, three (3) public input meetings, draft Annual Action Plan comment period, and finally two (2) public hearings.

The City received feedback from one citizen concerning the use of funds for Public Services (i.e. funds to the local YWCA). The letter received is attached in the appendix and the City plans to consider additional funding options for the YWCA's Goodman Place project.

Citizen Participation Outreach

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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
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1	Public Meeting	<p>Minorities</p> <p>Non-English Speaking - Specify other language: Spanish</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Residents of Public and Assisted Housing</p>	<p>The City of Hamilton held its first FY 2019/20 Annual Action Plan public meeting at the Booker T Washington Community Center on August 14, 2018 at 6pm. The meeting was attended by two community members.</p>	<p>Two participants provided comments during the public meeting at Booker T Washington Community Center. The participants agreed that their primary concern was for the residents in the 2nd ward of the City and their safety. Additionally, both participants mentioned the necessity for an increase</p>	<p>The City of Hamilton takes into consideration all received comments.</p>	
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
				<p>in supportive services for local residents. More specifically the need to continue services to support the local youth and education to residents concerning proper home maintenance and waste disposal.</p>		

2	Public Meeting	<p>Minorities</p> <p>Non-English Speaking - Specify other language: Spanish</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Residents of Public and Assisted Housing</p>	<p>The City of Hamilton held its second FY 2019/20 Annual Action Plan public meeting at Neighborhood Housing Services, Inc. on August 15, 2018 at 1pm. The meeting was attended by approximately 43 persons.</p>	<p>One of the primary topics of conversation concerned the need for improved Community Collaboration among local organizations, government entities, stakeholders, etc. Additionally, the top priorities listed among the participants were (1) Employment/Job Training, (2) Drug/Substance Abuse</p>	<p>The City takes into consideration all received comments.</p>	
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
				Services, (3) Transportation Services, (4) Street Repaving/Repair, (5) Storm Water (Drainage) Improvements, (6) Public Parks and Recreation Facilities, (7) Services for Battered & Abused Spouses/Children.		

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
3	Public Meeting	Minorities Non-English Speaking - Specify other language: Spanish Persons with disabilities Non-targeted/broad community Residents of Public and Assisted Housing	The City of Hamilton held its third FY 2019/20 Annual Action Plan Public meeting at Heaven Sent Meeting Center. The meeting was attended by two (2) participants.	During the meeting the participants stated that the City would benefit from making improvements in the areas of Street Repaving/Repair, Homeless Facilities, and Employment/Job Training.	The City takes into consideration all received comments.	

4	Hard Copy Survey	Non-targeted/broad community	The City received a total of 196 hard copy survey responses. The responses were a combination of mail-in, received at public meetings, or collected by service provider's survey responses.	The top five Public Service and Housing Needs of the mail survey were Drug/Substance Abuse Services (129), Crime Awareness/Prevention (111), Mental Health Services(110), Elderly/Senior Services (105), and Services for Battered & Abused Spouses/Children (101). All were considered a "Significant	The City of Hamilton considers all comments received. More Specifically, in regards to the statement concerning the "need of affordable public and accessible transportation". The City has and continues to commit funds to the Butler County Regional Transit Authority to provide transportation services to	
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			<p>Need" by respondents . 84 respondents stated that there is a Significant Need for emergency/ minor home repair programs for low-income City of Hamilton residents. 104 respondents stated that there is a Significant Need for housing rehabilitation in the City of Hamilton. 199 respondents stated that</p>	<p>the local residents (e.g. Employment shuttle). In response to the statement "Get it together and fix the streets", the City has and plans to commit funds to Street Resurfacing/ Paving projects throughout the City.</p>	
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				<p>there is a Significant Need for affordable owner-occupied housing. 88 respondents stated that there is a Significant Need for affordable rental housing. The top five Public Infrastructure and Facilities Improvements Needs are Street Repaving/Repair (Significant Need-163), Storm Water (Drainage)</p>		
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			<p>Improvements (Low Need-109), Sidewalk Repair/Installation (Moderate Need-84), Youth Centers (Moderate Need-79), Homeless Facilities (Significant Need-79). 145 respondents stated that removal/de molition of unsafe/dang erous or abandoned buildings are Very Important. 109 respondents</p>	
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
				<p>stated that the improvements of the visual appearances of primary business districts, entryways, and streets are Very Important.</p>		

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5	Google Forms - Survey	<p>Non-English Speaking - Specify other language: Spanish</p> <p>Non-targeted/broad community</p>	<p>The City received a total of 116 online responses to the FY 2019-20 Annual Action Plan Public Input Survey.</p>	<p>The top five Public Services and Housing Needs of the online survey were Drug/Substance Abuse Services (99), Mental Health (82), Youth Services Programs (81), Employment/Job Training (73), and Services for the Homeless (72). Each were considered a "Significant Need". 47.7% (53</p>	<p>The City of Hamilton considers all comments received. More specifically, in regards to the statement concerning the conditions of the streets, sidewalks, curbs, and gutters the City has annually committed CDBG funds to the resurfacing and paving of the City's sidewalks and streets. The City plans to</p>	<p>https://docs.google.com/forms/d/1KyKtewwOPDc87Fa5JRLjO7f8Cf334hzMMSmByM1ci6g/edit#responses</p>
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			<p>respondents) stated that there is a Significant Need for emergency/ minor home repair programs for low-income City of Hamilton residents, 64.6% (73) respondents stated that there is a Significant Need for Housing Rehabilitation, while 43.6% (48) respondents stated that there is a Moderate Need for affordable</p>	<p>continue to do so as funds are made available and based upon community need. Nonetheless, in FY2019-20 it is anticipated that CDBG funds will not be utilized for street resurfacing and paving. Instead the City will work with the county to have a Street Repair Levy placed on the May 2019 ballot.</p>	
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				<p>rental housing. The top five Public Infrastructure and Facilities Improvements were Youth Centers (Significant Need-65), Homeless Facilities (Significant Need-64), Street Repaving/Repair (Significant Need-64), Neighborhood Business District Improvements (Moderate Need-62),</p>	
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
				and Water/Sewer Improvements (Moderate Need 61).		
6	Public Meeting	Non-targeted/broad community				

Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources – 91.220(c)(1,2)

Introduction

The City of Hamilton anticipates utilizing Community Development Block Grant (CDBG) funds in the amount of \$1,433,787 and HOME entitlement funding in the amount of \$375,150 for fiscal year 2019-2020. The City proposes to maintain its Housing Rehabilitation program through its established Revolving Loan Fund (RLF). The City will continue to work with a local CHDO to provide down-payment and closing cost assistance to qualified persons. The City will collaborate with local non-profit organizations to create housing units for those moving from local shelters into permanent housing. The City will also work with non-profit organizations to develop affordable housing units for extremely low-

income residents.

Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	1,433,787	60,773	0	1,494,560	0	PI includes HRLF & CRLF payments, Misc. Rev & local acct funds
HOME	public - federal	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	375,150	4,491	0	379,641	0	

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
General Fund	public - local	Other	49,167	0	0	49,167	0	Estimated at 12.5% Match for HOME funds
Other	public - federal	Other	855,817	0	0	855,817	0	The City anticipates receiving CDBG-CV funds to appropriately prevent, prepare for and respond to the Coronavirus Pandemic.

Table 5 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

The Department of Finance/Neighborhood Development Division continues to broaden and strengthen relationships with appropriate agencies and other City of Hamilton departments to implement public and physical improvements, special code enforcement and public services that benefit very-low and low/moderate income city residents. Through these relationships, the City will work to provide minor home repairs to eligible low-income homeowners as well as remove and clear dangerous, dilapidated and vacant buildings.

The objectives of the CDBG and HOME programs include, but may not be limited to, the revitalization, preservation, conservation and redevelopment of neighborhoods; stimulating economic development; and providing public improvements. Each objective aims to benefit persons of low and low-moderate income.

The **12.5%** HOME Match will be satisfied from the City's General Funds.

If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

The City of Hamilton operates a Landbank Program. Through the program the City may donate landbank property to nonprofit organizations for the development of affordable housing.

Discussion

N/A

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Annual Goals and Objectives

AP-20 Annual Goals and Objectives

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Clearance and Demolition	2017	2021	Non-Housing Community Development	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	Clearance and Demolition	CDBG: \$165,500	Housing Code Enforcement/Foreclosed Property Care: 6000 Household Housing Unit Other: 550 Other
3	Public Facilities/Improvements	2017	2021	Non-Housing Community Development	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	Public Facilities	CDBG: \$735,147	Other: 13975 Other

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
4	Public Services	2017	2021	Non-Housing Community Development	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	Public Services Fair Housing AFH Factor 7: Transportation AFH Factor 4: Impediments to Mobility AFH Factor 5: Lack of Assistance for Transitioning	CDBG: \$193,000	Public service activities other than Low/Moderate Income Housing Benefit: 2075 Persons Assisted Housing for Homeless added: 8 Household Housing Unit Other: 10000 Other
5	Economic Development	2017	2021	Non-Housing Community Development	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	Economic Development	CDBG: \$32,803	Businesses assisted: 1 Businesses Assisted
8	AFH Goal 6: Availability of affordable units	2017	2021	Affordable Housing Public Housing Non-Homeless Special Needs	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	AFH Factor 1: Location/type of affordable housing AFH Factor 6: Availability of affordable units	CDBG: \$154,895 HOME: \$222,503 General Fund: \$24,172	Homeowner Housing Added: 1 Household Housing Unit Homeowner Housing Rehabilitated: 35 Household Housing Unit
11	AFH Goal 3: Source of Income Discrimination	2017	2021	Affordable Housing	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	AFH Factor 3: Source of Income Discrimination	HOME: \$113,673	Direct Financial Assistance to Homebuyers: 19 Households Assisted

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
13	AFH Goal 5: Availability of Affordable Units	2017	2021	Affordable Housing	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton	AFH Factor 6: Availability of affordable units	General Fund: \$24,995	Homeowner Housing Added: 1 Household Housing Unit

Table 6 – Goals Summary

Goal Descriptions

1	Goal Name	Clearance and Demolition
	Goal Description	The City of Hamilton plans to commit funds to The City's Health Department's Code Enforcement and Resident Services' Dept. Slum & Blight Remediation. Services will include but may not be limited to the elimination of Slum and Blight and Code Enforcement. The City's Health Dept. will conduct Special Code Enforcement and Remediation of Slum & Blight. The Special Code Enforcement Program will work to enforce City of Hamilton ordinances pertaining to property maintenance in the LMI areas. More specifically, enforcement efforts will be directed towards removing junk autos, rubber and debris, litter, weeds, graffiti, paint and repair the exterior of homes and garages, and to re-mediate interior and exterior housing complaints. Through the Slum and Blight Program the City anticipates improving the quality of life and property values of local residents. Remediation activities will include the boarding of properties, mowing grass, clearing overgrown vegetation, removing trash & debris, disposing of said trash and overgrown vegetation.

3	Goal Name	Public Facilities/ Improvements
	Goal Description	The City will work to improve the City's Fire Stations located in extremely-low/low income areas of the community (specifically, stations #24, #25, & #26). Improvements will include the replacement of deteriorated and obsolete fire and life squad vehicles. Facility improvements will include, but not be limited to, improvements to provide a separate male and female locker room and sleeping room quarters, and to repair floor support in one of the fire station buildings. The said improvements will aid in improving the diversity of the fire department staff and provide necessary equipment to respond in an efficient manner to emergencies.
4	Goal Name	Public Services
	Goal Description	Assistance to local social service providers and nonprofit agencies for: youth and senior services, transportation of underserved youth, job connection transportation, victim's of domestic violence support, creative arts outreach, fair housing, and a pilot program to transition homeless persons to permanent housing. Other in Goal Indicator includes 10000 Trips for Butler County Transit Alliance.
5	Goal Name	Economic Development
	Goal Description	The City of Hamilton has in the past and plans to continue to support and/or provide funding to the Economic Development Department. Direct Financial Assistance provides low interest loans to viable for-profit businesses for expansion projects occurring in Hamilton. Direct Financial Assistance is focused on census tracts where low and moderate income residents reside. Therby creating job opportunities in the neighborhood.
8	Goal Name	AFH Goal 6: Availability of affordable units
	Goal Description	The City of Hamilton anticipates committing funds to Neighborhood Housing Services (NHS) New Construction for Home Ownership Project (in the amount of \$222,503). The new home will provide housing to one family that may otherwise suffer housing discrimination due to income restrictions. The funds will also support the City of Hamilton's Minor Repair Program (in the amount of \$97,969 also includes a portion of Housing ADC). Which will conduct repairs on single family homes, where individuals are unable to afford repair costs.

11	Goal Name	AFH Goal 3: Source of Income Discrimination
	Goal Description	The City of Hamilton in partnership with Neighborhood Housing Services, Inc. (NHS) will continue to provide Down-payment and Closing Cost Assistance to individuals/single families in the jurisdiction. Maximum expended amount of \$5800 per household
13	Goal Name	AFH Goal 5: Availability of Affordable Units
	Goal Description	The City of Hamilton in partnership with SELF will rehab and resell a single family residence in the jurisdiction for an income eligible household utilizing HOME Match funds (i.e. General funds). SELF is the county's community action agency and provides a myriad of supportive services/programs to support Butler County and the City of Hamilton residents.

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Projects

AP-35 Projects – 91.220(d)

Introduction

The City of Hamilton's Neighborhood Development Division continues to broaden and strengthen relationships with appropriate agencies and other City of Hamilton Departments to implement physical improvements, special code enforcement, and public services that benefit very-low and -low to moderate income city residents. Through these relationships, the City will work to provide minor home repairs to eligible low income homeowners as well as remove and clear dangerous, dilapidated and vacant buildings.

Projects

#	Project Name
1	HOUSING - CDBG & HOME ACTIVITIES
2	Economic Development - Direct Financial Assistance
3	Health Dept. Special Code Enforcement & Slum & Blight Remediation
4	Public Facilities & Improvements
5	Public Services - 15% CAP
6	NDD CDBG Administration 20% CAP
7	S.E.L.F. - Rehab and Resale for Homebuyer
8	NDD - HOME Administration (10% CAP)
9	NHSH Down Payment & Closing Cost Assistance
10	CHDO Operating Expense - 5% CAP
11	CV-Public Health
12	CV-Public Facilities
13	CV - Public Services

Table 7 - Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The City of Hamilton has planned to allocate funds based upon reported community needs, responses collected during the Citizen Participation Process, Public Hearing feedback, and the anticipated success of a program at achieving its goal and meeting community need(s). The City's Neighborhood Development Division advises the City Manager on the Consolidated Plan, Annual Action Plan, resources allocations, and all other matters related to the administration CDBG and HOME funds. Due to limited funding, the City has struggled, over the years, to address all of the needs identified in the community. Nonetheless, the City has and plans to continue to strive to address needs based upon priority level and

in a manner that is most beneficial to the community.

In the past, the City of Hamilton has committed funds to improve Public Facilities as they relate to Street Resurfacing & Public Infrastructure. Unfortunately, due to the need to commit funds for emergency response providers, the City of Hamilton City Council has unanimously approved a resolution asking the Butler County Board of Elections to place a 4.9 mill street repair levy before votes on the May 7, 2019 ballot. If the levy is voted into action it would expire after ten (10) years and before then potentially generate approximately \$3.9 million annually. It is anticipated that through the levied funds the City could repair up to five (5) miles of streets, and also maintain up to five (5) miles of streets. The approval of the levy is imperative to continuing the City's efforts to improve the streets and sidewalks in the community in spite of functioning on limited funds.

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AP-38 Project Summary
Project Summary Information

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1	Project Name	HOUSING - CDBG & HOME ACTIVITIES
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	AFH Goal 6: Availability of affordable units
	Needs Addressed	AFH Factor 1: Location/type of affordable housing AFH Factor 6: Availability of affordable units
	Funding	CDBG: \$189,111 HOME: \$222,503 General Fund: \$24,172
	Description	The City of Hamilton is committed to funding and supporting housing projects for extremely low income/low income individuals and families. Funding and support may include, but not be limited to, permanent housing and the City's Minor Home Repair Program (includes Entitlement in the amount of \$50,000,(HRLF) Program Income amount of \$34,650.76, Misc. Revenue in the amount of \$3867.99, and Local Account in the amount of \$9451.17. Total sum = \$97,969.92). CDBG Activity Delivery Costs (ADC) is included at \$91,114.29 (a portion of the ADC total is also being utilized to administer HOME housing projects). HOME includes NHH (\$222,503) and Match (\$24,172).
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	Approximately 51 individual/households are anticipated to benefit from the proposed activities.
	Location Description	The programs will benefit city-wide persons/households who are income eligible (based upon HUD standards) to qualify for services.
	Planned Activities	Activities will include the City of Hamilton's Neighborhood Development Divisions Home Repair Program (CDBG funds) and Neighborhood Housing Services, Inc. (NHH) New Construction Project (HOME funds).
2	Project Name	Economic Development - Direct Financial Assistance
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Economic Development
	Needs Addressed	Economic Development

	Funding	CDBG: \$32,803
	Description	The City of Hamilton has in the past and plans to continue to support and/or provide funding to the Economic Development Department. Direct Financial Assistance to local businesses provides low interest loans to viable for-profit businesses for expansion projects occurring in Hamilton. The Direct Financial Assistance is focused on census tracts where low and moderate income residents reside. Thereby creating job opportunities in the neighborhood.
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	One or more businesses in the jurisdiction may receive funding from the City of Hamilton. It is anticipated that the business(es) will newly hire at least one extremely-low/low income individual.
	Location Description	Funds committed to Economic Development have the potential of benefitting one or more businesses located within the jurisdiction.
	Planned Activities	The City plans to commit funds to the City's Economic Development Department's Direct Financial Assistance.
3	Project Name	Health Dept. Special Code Enforcement & Slum & Blight Remediation
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Clearance and Demolition
	Needs Addressed	Clearance and Demolition
	Funding	CDBG: \$165,500
	Description	The City's Health Dept. will conduct Special Code Enforcement and Remediation of Slum & Blight. The Special Code Enforcement Program will work to enforce City of Hamilton ordinances pertaining to property maintenance in the LMI areas. More specifically, enforcement efforts will be directed towards removing junk autos, rubber and debris, litter, weeds, graffiti, paint and repair the exterior of homes and garages, and to re-mediate interior and exterior housing complaints. Through the Slum and Blight Program the City anticipates improving the quality of life and property values of local residents. Remediation activities will include the boarding of properties, mowing grass, clearing overgrown vegetation, removing trash & debris, disposing of said trash and overgrown vegetation.

	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	Approximately 6000 units are proposed to be brought into compliance through the City of Hamilton Health Department's Code Enforcement Program. Services will potentially benefit City of Hamilton homeowners, renter, elderly, single-parent households, multi-parent households, and individuals who are disabled. Approximately 550 City residents will benefit from the Health Department's Slum & Blight Program and the remediation of slum and blight properties.
	Location Description	Housing code enforcement pertaining to the removal of junk autos, rubbish and debris, litter, weeds, graffiti, and dead trees. Also the securing of vacant structures in the following Census Tracts and Block Areas: Tract 1 Blocks 5 & 6; Tract 2 Block 1,2,3,5; Tract 3 Block 1,2,3,4; Tract 4 Blocks 1,2,3,4,5; Tract 5 Blocks 1,3,4,5,6; Tract 6 Blocks 2,3,4,5,6; Tract 7.01 Blocks 1 & 2; Tract 7.02 Block 1; Tract 8 Blocks 1 & 2; Tract 9 Blocks 2 & 3; Tract 10.01 Block 2; Tract 10.02 Block 1 & 2; Tract 11 Block 1,2,3,5; Tract 14 Block 1; Tract 110.01 Block 9. Remediation of Slum & Blight in targeted low and moderate income areas is anticipated. The following census Tract and Block areas will be services: Tract 1 Blocks 5 & 6; Tract 2 Blocks 1,2,3,5; Tract 3 Blocks 1,2,3,4; Tract 4 Blocks 1,2,3,4,5; Tract 5 Blocks 1,3,4,5,6; Tract 6 Blocks 2,3,4,5,6; Tract 7.01 Blocks 1 & 2; Tract 7.02 Block 1; Tract 8 Blocks 1 & 2; Tract 9 Blocks 2 & 3; Tract 10.01 Block 2; Tract 10.02 Block 1 & 2; Tract 11 Block 1,2,3,5; Tract 14 Block 1; Tract 110.01 Block 9.
	Planned Activities	Activities include Special Code Enforcement and Remediation of Slum & Blight.
4	Project Name	Public Facilities & Improvements
	Target Area	Low/Moderate Income Areas
	Goals Supported	Public Facilities/ Improvements
	Needs Addressed	Public Facilities
	Funding	CDBG: \$735,147

	Description	The City will work to improve the City's Fire Station located in extremely-low/low income areas of the community (specifically, stations #24). Improvements will include the replacement of deteriorated and obsolete fire vehicle. Facility improvements will include, but not be limited to, improvements to provide separate male and female locker room and sleeping room quarters, and to repair floor support in one of the fire station buildings. Total cost includes ADC of \$60,147.
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	The Public Facilities and Improvements will provide services to a diverse population of City of Hamilton residents.
	Location Description	The Public Facilities and Improvements will provide service response to areas surrounding 605 Main Street, 335 North Erie Blvd., and 651 Laurel Avenue. All said areas provide services to low/moderate income residents.
	Planned Activities	Eligible activities will include the replacement of a Fire Engine, improvements to the interior and exterior of Station #24 at 605 Main Street, Station #25 at 325 North Erie, and Station #26 at 651 Laurel Ave.
5	Project Name	Public Services - 15% CAP
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Public Services
	Needs Addressed	Public Services Fair Housing AFH Factor 7: Transportation AFH Factor 4: Impediments to Mobility AFH Factor 5: Lack of Assistance for Transitioning
	Funding	CDBG: \$193,000
	Description	Assistance to local social service providers and nonprofit agencies for: youth and senior services, transportation of under-served youth, job connection transportation, victim's of domestic violence support, creative arts outreach, fair housing, and a pilot program to transition homeless persons to permanent housing.

Target Date	4/30/2021
Estimate the number and type of families that will benefit from the proposed activities	<p>The City estimates that the following number of residents will be served through the following projects:</p> <p>Great Miami Valley YMCA - Booker T Washington Community Center - 500 people;</p> <p>Boys & Girls Club of Hamilton, Inc. - Transportation Initiative to Serve Underserved Youth - 25 youth;</p> <p>Transit Alliance of Butler County - Job Connector Shuttle - 10,000 trips;</p> <p>City of Hamilton Municipal Court Victim's Advocacy Program - approximately 100;</p> <p>Fitton Center Community Outreach Program - 12,000 (Duplicated Units of Service);</p> <p>Serve City - Welcome Home - 8 households;</p> <p>YMCA - Summer Playground Program - 275;</p> <p>Neighborhood Development Division (NDD) Fair Housing Services & Education - 200.</p>
Location Description	<p>The Transportation Alliance will provide services to the following Census Tracts: 1,2,3,4,5,6 and 11. The City of Hamilton Victim's Advocacy Program will benefit low and moderate income persons across all applicable census tracts within the City of Hamilton. The Fitton Center Community Outreach Program will have a direct impact on low/middle incomes areas in the jurisdiction with the emphasis upon neighborhoods in Hamilton with the highest concentrations of poverty (greater than 29%). Serve City's Welcome Home Program will benefit low and moderate income persons who are currently homeless or at risk of becoming homeless soon. YMCA Summer Playground Program will benefit low and moderate income households with children. The LMI sites at which the YMCA will offer the program include the Jim Grimm Park (Census Tract 10.01), Millikin Woods (Census Tract 8), and Crawford Woods Park (Census Tract 5). The City's Fair Housing Advocate and in Partnership with Housing Opportunities Made Equal will provide fair housing, tenant-landlord mediation, education, and resources to resident in the entire jurisdiction.</p>

	Planned Activities	Activities will include but may not be limited to: Greate Miami Valley YMCA - BTW Programming; Boys & Girls Club - Transportation Initiative to Serve Underserved Youth; Butler County Transit Alliance - Job Connector Shuttle; City of Hamilton Municipal Court - Victim's Advocacy Program; Fitton Center - Community Outreach/Service; Great Miami Valley YMCA - Summer Playground Program; Neighborhood Development Division - Fair Housing Services & Education; and SERVE City - Welcome Home.
6	Project Name	NDD CDBG Administration 20% CAP
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Clearance and Demolition Public Facilities/ Improvements Public Services Economic Development AFH Goal 6: Availability of affordable units AFH Goal 3: Source of Income Discrimination AFH Goal 5: Availability of Affordable Units
	Needs Addressed	Clearance and Demolition AFH Factor 1: Location/type of affordable housing Public Facilities Economic Development Public Services Fair Housing AFH Factor 6: Availability of affordable units AFH Factor 7: Transportation AFH Factor 2: Private Discrimination AFH Factor 3: Source of Income Discrimination AFH Factor 5: Lack of Assistance for Transitioning
	Funding	CDBG: \$179,000
	Description	Administration cost related to CDBG Activities up to a 20% CAP (\$179,000) for the 2019/20 fiscal year.
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	Administration costs for CDBG covers the administration costs related to executing all CDBG projects highlighted in the 2019/20 Annual Action Plan for the City of Hamilton.

	Location Description	All activities will take place in income eligible communities within the jurisdiction.
	Planned Activities	Activities are described in detail individually within the Project section. Goal outcome indicator listed under "Other" lists a "Quantity" that is the sum of all CDBG activities.
7	Project Name	S.E.L.F. - Rehab and Resale for Homebuyer
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	AFH Goal 5: Availability of Affordable Units
	Needs Addressed	AFH Factor 6: Availability of affordable units
	Funding	General Fund: \$24,995
	Description	The City of Hamilton in partnership with S.E.L.F. will rehab and resell a single family residence in the jurisdiction for an income eligible household utilizing HOME Match funds (i.e. General funds). S.E.L.F. is the county's community action agency and provides a myriad of supportive services/programs to support Butler County and the City of Hamilton residents.
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	At least one individual/family in the City of Hamilton will benefit from participating in the program.
	Location Description	The location of the Rehab remains to be determined but will take place within a low/moderate income community in the jurisdiction.
	Planned Activities	The City of Hamilton partners with S.E.L.F. will complete the Rehab and Resale of one single family housing unit for a local homebuyer.
8	Project Name	NDD - HOME Administration (10% CAP)
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	AFH Goal 3: Source of Income Discrimination AFH Goal 5: Availability of Affordable Units
	Needs Addressed	AFH Factor 6: Availability of affordable units AFH Factor 3: Source of Income Discrimination
	Funding	HOME: \$20,000

	Description	HOME administration funds will aide in supporting the administrative duties necessary to successfully complete all projects utilizing HOME funds.
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	Administration costs for CDBG covers the administration costs related to executing all projects highlighted in the 2019-2020 Annual Action Plan for the City of Hamilton.
	Location Description	Low/Mod income communities within the jurisdiction will be supported by projects utilizing HOME funds.
	Planned Activities	HOME Administration costs will support the administration services needed to support the following programs: Neighborhood Housing Services (NHS) - New Construction (E Street); Neighborhood Housing Services (NHS) - Down-payment/Closing Costs Assistance; and SELF - Rehabilitation and Resale.
9	Project Name	NHSH Down Payment & Closing Cost Assistance
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	AFH Goal 3: Source of Income Discrimination
	Needs Addressed	AFH Factor 3: Source of Income Discrimination
	Funding	HOME: \$117,473
	Description	The City of Hamilton in Partnership with NHSH will continue to provide Down-payment and Closing Cost Assistance to individuals/single families in the jurisdiction.\$118,381 = NHSH Program Amount \$3,800 = Estimated HOME Program Income
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	The City of Hamilton and NHS anticipate assisting at least 19 individuals/families with Down-payment and Closing Cost payments.

	Location Description	The City of Hamilton and NHS anticipates providing assistance to individuals/families residing in low/mod income communities in the jurisdiction.
	Planned Activities	The City of Hamilton and NHS advertise and connect with social service agencies to acquire financially qualified individuals and/or families to participate in the Down-payment and Closing Cost program.
10	Project Name	CHDO Operating Expense - 5% CAP
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	AFH Goal 3: Source of Income Discrimination
	Needs Addressed	AFH Factor 1: Location/type of affordable housing AFH Factor 2: Private Discrimination AFH Factor 3: Source of Income Discrimination
	Funding	HOME: \$19,665
	Description	The CHDO Operating Expense provides Admin support through the City of Hamilton to the City's CHDO (NHSH).
	Target Date	4/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	20 renter, owner, homebuyer, housing counseling participants
	Location Description	Services will be provided at NHSH's main office located at 100 S MLK Jr. Blvd. Hamilton, OH 45011
	Planned Activities	CHDO Operating Expense to Neighborhood Housing Services of Hamilton, Inc. <i>The "Quantity" listed as the "Goal Outcome Indicator" lists the number of households to benefit from NHS's Down-Payment Assistance Program.</i>
11	Project Name	CV-Public Health
	Target Area	Urban Renewal Area Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	
	Needs Addressed	Public Facilities

	Funding	CDBG-CV: \$478,000
	Description	The City's Health Department anticipates using PY 2019-2020 CARES Act funds to purchase personal protective equipment and testing supplies to battle the Coronavirus Pandemic. The personal protective equipment and testing supplies will be utilized by/for first responders, long-term care facilities and the coroner as needed. If possible, the City's Health Department may purchase rapid antibody tests to determine if individuals have immunity. Additionally, anticipates utilizing the funds for additional unforeseen and eligible Coronavirus preparation, prevention, and/or response.
	Target Date	4/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	The estimated number of residents who may benefit from the above activity is unknown and will be passed upon the community's need during the pandemic.
	Location Description	City-wide
	Planned Activities	COVID-19 Prep/Prevent/Respond Testing, Personal Protective Equipment, Citizen Health Measures - \$388,000 COVID-19 Prep/Prevent/Respond Quarantine Isolation - \$80,000 COVID-19 Prevent/Respond Public Health Contractual - \$10,000
12	Project Name	CV-Public Facilities
	Target Area	Urban Renewal Area Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Public Facilities/ Improvements
	Needs Addressed	Public Facilities
	Funding	CDBG-CV: \$200,000
	Description	The City of Hamilton anticipates using CARES Act funds to aid in the development of a Citizen Screening Desk to protect the citizens in need of services and assistance and also to protect the City's staff.
	Target Date	

	Estimate the number and type of families that will benefit from the proposed activities	The City anticipates assisting City-wide residents with tax inquiries, certificate requests, construction services, etc.
	Location Description	City-wide
	Planned Activities	Citizen Screening Desk development.
13	Project Name	CV - Public Services
	Target Area	Low/Moderate Income Areas All HUD eligible areas within the City of Hamilton
	Goals Supported	Public Services
	Needs Addressed	Public Services
	Funding	CDBG-CV: \$177,817
	Description	The City anticipates designating CARES Act funds to Living Water Ministries. The organization has proposed Food Distribution and Homework/Remote School Assistance (\$22,000). Additionally, Neighborhood Housing Services has proposed a "Short-term Utility and Rental Assistance Program". The program is anticipated to provide utility, rental, and mortgage payment assistance to low income persons/families in the City (\$155,817).
	Target Date	4/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	Extremely low income/low income persons/families within the City.
Planned Activities	Living Water Ministries Food Distribution and Homework/Remote School Assistance - \$22,000 Neighborhood Housing Services - Short Term Utility/Rental/Mortgage Assistance - \$155,817	

AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The City of Hamilton has a diverse geographic area consisting of a varying range of income levels and minority groups. Historically, the jurisdiction is split into six (6) wards (1 (North), 1(South), 2, 3, 4, 5, 6 (North), 6 (South). Wards 2, 4, 5, and 6 (North) are the most integrated areas of the jurisdiction. The four (4) wards have populations of Black, Non-Hispanics, Hispanics, and White, Non-Hispanics. The highest population of Black, Non-Hispanics reside in the 2nd ward. The 4th, 5th and 6th (North) wards also possess a very small population of Asian/Pacific Islander, Non-Hispanics.

Results from the City's AFH suggest that individuals/families residing in the 2nd and 4th wards of the jurisdiction are more likely to be exposed to areas of concentrated poverty. The 2nd and 4th wards also possess a greater population of Black, Non-Hispanics and Hispanics.

The above data has prompted the City to continue to focus on projects that benefit individuals/persons residing in areas of the jurisdiction that are segregated (e.g. the City has in the past and plans to continue to commit funds programs the local YWCA, Boys & Girls Club, Butler County Transit Authority, as well as other local programs).

Geographic Distribution

Target Area	Percentage of Funds
Urban Renewal Area	100
Low/Moderate Income Areas	
All HUD eligible areas within the City of Hamilton	100

Table 8 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

As part of the Consolidated Plan and Annual Action Plan development, the City determined that it is best to focus the limited FY 19-20 funding resources within target geographical neighborhoods. Maps of the five (5) target areas are included in the appendix of the Consolidated Plan and Annual Action Plan. The five areas and corresponding census tracts are Rossville (CT 11), German Village (CT 146), Dayton Lane/North Dayton Lane (CT 6), Wilson Symmes/2nd Ward (CT 3), and Jefferson/North Jefferson (CT 4).

Discussion

The City reviewed 2010 Census and statistical information for ten (10) neighborhoods that have been determined to have at least 70% of its population with low and moderate incomes (80% of the City's Median Family Income). The determined neighborhoods are: Bonnacker/Lincoln, Dayton Lane/North Dayton Lane, East Hamilton, German Village, Gordon-Cereal/Star Hill, Jefferson/N. Jefferson, North End,

North Lindenwald, Rossville and Second Ward/Wilson Symmes. Information from the U.S. Census Bureau was analyzed and assigned a point value. The following information was used for the analysis: Population, Number in Household, Percentage of Households with Incomes Below \$10,000, Median Household Income, Per Capita Income, Percentage of Population Living below the Poverty Level, Number of Housing Units Vacant, Percentage of Rental Housing Units, and Percentage of Housing Units built prior to 1939. From these ten (10) neighborhoods the five (5) targeted areas were selected.

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Affordable Housing

AP-55 Affordable Housing – 91.220(g)

Introduction

The City of Hamilton has and plans to continue to invest resources in developing affordable housing not only in the Neighborhood Initiative Area (NIA) but also supports down payment and closing cost assistance through Neighborhood Housing Services (NHS) of Hamilton, Inc.'s, funding for acquisition of vacant properties to be utilized for new development. The City also commits funds to the rehabilitation of occupied units by extremely low/low-income individuals/families.

The City also invests resources in the development of rental housing in conjunction with NHS. The City works with NHS to prioritize neighborhoods, identify sites, and guide the architectural design of rental housing developments.

One Year Goals for the Number of Households to be Supported	
Homeless	8
Non-Homeless	19
Special-Needs	0
Total	27

Table 9 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	1
Rehab of Existing Units	50
Acquisition of Existing Units	1
Total	52

Table 10 - One Year Goals for Affordable Housing by Support Type

Discussion

The City of Hamilton plans to commit funds to the following housing providers as an effort to increase

the availability of affordable housing in the jurisdiction:

- ***Neighborhood Housing Services (NHS) - Down-payment/Closing Costs Assistance;***
- ***Neighborhood Housing Services (NHS) - New Construction for Homeownership***
- ***S.E.L.F. - Rehabilitation and Resale Program;***
- ***SERVE City Welcome Home Program;***
- ***The City of Hamilton's Minor Home Repair Program.***

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AP-60 Public Housing – 91.220(h)

Introduction

The City of Hamilton's public housing is administered and managed by Butler Metropolitan Housing Authority (BMHA). BMHA has the ability to operate throughout Butler County. Currently 50% of all public housing units administered by BMHA are within the City of Hamilton. BMHA maintains approximately 1142 Public Housing units and 545 Housing Choice Vouchers as of February 2016 (per BMHA Administration). BMHA's units range from studio to four-bedroom apartments. One of BMHA's most recent projects includes the Beacon Pointe redevelopment, phase 1 of the development added 60 dwelling units on a vacant site within a significant needs area.

BMHA conducted a market analysis in 2005 to determine the types of units needed for future demand. BMHA's units in the City of Hamilton range from twenty to over sixty years in age. The units are primarily large family three and four bedroom units. BMHA has concluded that based on current demand and demographics smaller units (e.g. one and two bedroom units) will be needed in the future. Additionally, senior housing units have experienced an increase in demand. As the number of elderly/senior population in the jurisdiction increases.

Actions planned during the next year to address the needs to public housing

BMHA plans to investigate the possibility of partnering with U.S. Department of Veteran's Affairs Administration as well as other agencies to provide veteran housing. BMHA plans to accomplish this by potentially utilizing several options including site based waiting list with specific preferences for veterans.

Actions to encourage public housing residents to become more involved in management and participate in homeownership

BMHA utilizes the following strategies to encourage public housing residents to become more involved with management and participate in homeownership:

BMHA encourages the development of Resident Councils at each of their housing sites;

BMHA is actively working with Supports to Encourage Low Income Families;

BMHA is actively working with Neighborhood Housing Services (NHS) to provide information to possible PHA residents and HCV participants.

If the PHA is designated as troubled, describe the manner in which financial assistance will be

provided or other assistance

The local PHA has not been designated as troubled.

Discussion

During the period of BMHA's 5yr/Annual Action Plan, the PHA has completed Beacon Pointe (60 units of affordable housing), and the demolition/disposition of Midtown Village.

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AP-65 Homeless and Other Special Needs Activities – 91.220(i)

Introduction

The City of Hamilton is an active participant in the Butler County Housing and Homeless Coalition (BCHHC). The BCHHC and Homeless Coalition apply and receive funding through the Balance of State Continuum of Care process. In addition, the City of Hamilton along with Butler County and the City of Middletown has pledged financial assistance to the Butler County Housing and Homeless Coalition.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including

Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

The City seeks input from homeless persons through the solicitation of feedback during public meetings (e.g. Serve City) and the distribution of Public Needs Assessment surveys at public locations and online.

Addressing the emergency shelter and transitional housing needs of homeless persons

The City of Hamilton routinely commits funding to address the needs of homeless individuals/families residing in emergency shelters or transitional housing (e.g. funding to local nonprofit organizations to support infrastructure repairs to a local shelter, etc.). The City also commits CDBG funds for a Victim's Advocacy Program (VAP). The VAP provides counseling and assistance to local victims of domestic violence.

Several community-wide agencies assist with homeless prevention such as rent and utility assistance through Supports to Encourage Low Income Families (S.E.L.F.) and the local Community Action Partnership of Greater Dayton, Ohio area office. Emergency shelter assistance is also provided via a voluntary church hospitality network, CHOSEN in Hamilton and SHALOM in nearby Middletown. Additionally, the City supports Transitional Living, Inc.'s working relationship with Butler Metropolitan Housing Authority (BMHA) to address the needs of homeless individuals/families with special needs. The Homeless Coalition, utilizing Butler County as the grantee, has applied for the recertification of **twenty-three (23) units of Shelter Plus Care** rental assistance to serve chronically homeless single adults with a qualifying disabling condition(s), and also the renewal of **twenty (20) units of Shelter Plus Care** rental assistance for homeless individuals and families with a qualifying disabling condition(s).

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were

recently homeless from becoming homeless again

The City of Hamilton plans and will continue to commit funds and support to programs and community organizations to assist homeless person in making the transition to permanent housing and independent living. The City anticipates funding SERVE City's Welcome Home project. The project "is a new and innovative program aimed at providing intensive wraparound services to homeless individuals to move them from street level homelessness into permanent, market-rate housing". The City also commits funds to the City of Hamilton's Internal Services for the Victim's Advocacy Program. The program provides counseling services to children and non-offending family members who have experienced trauma as a result of abuse. The program also provides assistance to individuals seeking to file Domestic Violence Civil Protection Orders (CPO) in the Butler County Domestic Relations Court.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs.

The City of Hamilton has and plans to continue to assist low-income individuals and families from becoming homeless. As a result, the jurisdiction has partnered with and will facilitate discussions with local publicly funded institutions, systems of care, and organizations receiving assistance from public or private agencies to address the housing, health, social services, employment, education, or youth needs of the stated individuals and families. An example of programming supported by the City utilizing CDBG funds includes the support provided to the local YMCA - Booker T Washington Community Center, Victim's Advocacy Program, and Serve City's Welcome Home project.

Discussion

The City of Hamilton will continue to promote and provide services to assist low-income and/or homeless individuals and families.

AP-75 Barriers to affordable housing – 91.220(j)

Introduction:

Two factors that affect the affordability of housing in a community are local property taxes and utility costs. According to the Butler County Auditor, [Rates of Taxation in Butler County, Ohio Tax Year 2017](#), the total effective rate class one for the City of Hamilton and the Hamilton City School District were the second (2nd) lowest in the immediate area. For example, Hamilton's taxes have decreased and are 53.55 mills as compared to: 59.49 mills for Fairfield City; 63.89 mills for Liberty Township; 41.85 mills for Oxford; and 71.59 mills for Middletown.

Hamilton owns and operates its own water, sewage treatment, gas and electric utilities. The gas and electric rates are generally less than other areas in Butler County that are served by Duke Energy. Hamilton's water costs are nearly one-third less than the County rates. Neither local taxes nor municipal utility costs are deemed barriers to affordable housing in Hamilton.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

The City of Hamilton will facilitate discussions with the City of Hamilton's Planning Commission to determine whether changes may be made to zoning and code requirements for housing units of families with five or more members.

Discussion:

Feedback gathered during the Assessment of Fair Housing process suggests that zoning and code requirements make the process of creating large housing units difficult. As a result the City plans to assess the zoning and code requirements.

AP-85 Other Actions – 91.220(k)

Introduction:

The City of Hamilton has and will continue to commit to actions that encourage and promote improvements to public facilities, economic development, public services, acquisition/new construction, and housing/rehabilitation. One example may be seen through the City's commitment to provide fair housing and tenant-landlord counseling services to local residents. The City continuously strives to eliminate housing discrimination and create a diverse and inclusive community.

Actions planned to address obstacles to meeting underserved needs

The City continues to invest resources into community development efforts that leverage and increase positive activities in distressed neighborhoods. These investments include Affordable Housing Development activities, Lead Safe Work Practices, and the Neighborhood Overlay Conservation Zoning District

Actions planned to foster and maintain affordable housing

The City of Hamilton has and plans to continue to invest resources in developing affordable housing throughout the jurisdiction. The City also supports down payment and closing cost assistance through Neighborhood Housing Services (NHS) of Hamilton, Inc., and also funding for acquisition of vacant properties to be used for development.

Actions planned to reduce lead-based paint hazards

In an effort to reduce hazards in the City of Hamilton, the City utilizes Lead Safe Work Practices. These efforts lead to the creation of a residential facade program. The program encourages work to improve the exterior of income eligible owner occupied housing structures and improve its standard condition.

Actions planned to reduce the number of poverty-level families

The City feels that poverty reduction is an ongoing process. However, the City attempts to quantify program and project outcomes to measure against assumed baseline figures. As an example, the City assumed that approximately 853 housing units have lead based paint issues (using HUD's formula for calculation). The City recognizes that lead abatement is proposed to be done on four- (4) units. Therefore, we can assume that approximately 849 units will have lead paint issues after the next grant cycle. Depending on projects and programs, baseline measures have and will continue to be developed. Additionally, the City uses statistical information for calculating the reduction rate of poverty. The three- (3) most used sources to determine the extent of poverty reduction by the City is

unemployment rate, census income information and local income tax information.

Additional services planned to reduce the number of poverty-level families may include but not be limited to services for children, the elderly, job connection shuttle services, community outreach services, supportive homeless services, fair housing services, and victim's advocacy support services.

Actions planned to develop institutional structure

The delivery system in the City of Hamilton was enhanced by the development of a communications process with public service providers. Representatives from social service agencies and housing providers are part of the system. The formation of this process resulted in the community working together to identify problems, priorities, strategies and action plans to assist Hamilton citizens. The City is working toward closing gaps through consultation with citizens, community service providers and local public institutions, private industry, and nonprofit organizations.

Actions planned to enhance coordination between public and private housing and social service agencies

Public Institution:

The City of Hamilton's Neighborhood Development Division will administer both the CDBG and the HOME programs. Funds will be used for a variety of activities which include, but may not be limited to, owner home rehabilitation, rental rehabilitation, home buyer assistance, capital improvements, economic development, and technical assistance to nonprofits and public services operated by nonprofits. The City may assist other public or nonprofit groups in providing other types of affordable housing assistance.

The Butler Metropolitan Housing Authority (BMHA) will continue and is responsible for carrying out the Comprehensive Public Housing Grant and Section 8 Voucher programs. As well as operating low income housing units. BMHA operates countywide and City of Hamilton Council appoints one board member to BMHA's board while the remaining members are selected by the County Commissioners. With the exception of BMHA units in Middletown, Ohio, BMHA owns and operates the majority of housing units located in the City of Hamilton. The City of Hamilton encourages all residents to participate in community planning efforts and the management of their units.

Private Industry

Private sector involvement includes financial institutions providing assistance via mortgage loans to assist with private rehabilitation (owner and renter) and also the first-time homebuyer program operated by Neighborhood Housing Services of Hamilton (NHS). There may also be private sector involvement in low-income housing tax credit projects for housing rehabilitation or new construction to

increase affordable rental and home ownership opportunities.

Discussion:

DRAFT

Program Specific Requirements

AP-90 Program Specific Requirements – 91.220(I)(1,2,4)

Introduction:

Community Development Block Grant Program (CDBG)

Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan
3. The amount of surplus funds from urban renewal settlements
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan.
5. The amount of income from float-funded activities

Total Program Income

Other CDBG Requirements

1. The amount of urgent need activities

HOME Investment Partnership Program (HOME)

Reference 24 CFR 91.220(I)(2)

1. A description of other forms of investment being used beyond those identified in Section 92.205 is as follows:
2. A description of the guidelines that will be used for resale or recapture of HOME funds when used for homebuyer activities as required in 92.254, is as follows:
3. A description of the guidelines for resale or recapture that ensures the affordability of units acquired with HOME funds? See 24 CFR 92.254(a)(4) are as follows:
4. Plans for using HOME funds to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds along with a description of the refinancing guidelines required that will be used under 24 CFR 92.206(b), are as follows:

DRAFT

DRAFT

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE CITY OF HAMILTON'S SUBSTANTIAL AMENDMENT - ANNUAL ACTION PLAN UPDATE FOR FISCAL YEAR 2019-2020, DELINEATING THE STATEMENT OF OBJECTIVES AND PROPOSED USE OF COMMUNITY DEVELOPMENT BLOCK GRANT-CV (CDBG-CV) PROGRAM FUNDS, AND AUTHORIZING THE SUBMITTAL OF SAID PLAN TO THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT; TO ACCEPT AND APPROPRIATE UP TO \$855,817 IN CDBG-CV FUNDS. (City of Hamilton, Applicant).

WHEREAS, the City was notified that a special allocation of Community Development Block Grant funds to be used to prevent, prepare for, and respond to the coronavirus (COVID-19) would be made available. This allocation was authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act), Public Law 116-136, which was signed by the President on March 27, 2020, to respond to the growing effects of this historic public health crisis; and

WHEREAS, as a condition of receiving the aforesaid Federal grant funds, the United States Department of Housing and Urban Development (HUD) requires that the proposed use and appropriation of CDBG-CV funds be delineated in a Substantial Amendment of the Annual Action Plan that assesses community development needs and priorities as they relate to COVID-19; and

WHEREAS, the City's Substantial Amendment - Annual Action Plan for Fiscal Year 2019-2020, which delineates a statement of objectives and proposed use and appropriation of funds and includes assurances that the City of Hamilton will comply with primary objectives of the CARES Act and other Federal laws governing the use of Federal grant funds to prevent, prepare for, and/or respond to the Coronavirus Pandemic, has been prepared by the City's administrative staff; and

WHEREAS, the City has defined a Substantial Amendment as and includes the following: major budget adjustments related to financial resources (e.g. reallocation of funds, addition of funds from HUD), reimbursements, repayments, recaptures, and/or program income, reallocation of program dollars exceeding ten percent (10%), a proposed change in the allocation or selection criteria for programs, verbiage concerning HOME funds and allocations; and lastly the addition and/or removal of programs; and

WHEREAS, the functions of the Substantial Amendment of the Annual Action Plan is to build a participatory process, apply for grant funds under HUD's CARES Act grant program, define a strategy for carrying out the process of preventing, preparing for, and responding to the Coronavirus Pandemic, and describe an action plan that provides a basis for assessing performance; and

WHEREAS, to secure the aforesaid Federal grant funds, it is necessary that Council approve and appropriate the aforesaid Substantial Amendment - Annual Action Plan for Fiscal Year 2019-2020 and authorize submittal of said Amendment to HUD; and

WHEREAS, this Council now desires to approve and appropriate said Substantial Amendment and to authorize the City Manager to submit the Substantial Amendment to HUD.

WHEREAS, this Council now wishes to accept and appropriate said funds in the amount of up to \$855,817 and approve the appropriation of same for the City's CDBG-CV for Fiscal Year 2019 – 2020; and

WHEREAS, there is public health interest to be served in such appropriation all City of Hamilton citizens;

Ordinance No. _____ (cont'd)

RESOURCES

G/L Account	G/L Description	Amount
New-003-431-300	HUD Grant	\$ 855,817

CDBG-CV ACTIVITIES

G/L Account	Organization	G/L Description	Amount
New-855-910.New	City Health Dept.	COVID-19 Prevention, Preparation, Response Testing, Personal Protective Equipment, Supplies, Citizen Health Measures	\$ 388,000
New-855-910.New	City Health Dept.	COVID-19 Prevention, Preparation, Response - Quarantine and Isolation	80,000
New-855-910.New	City Health Dept.	COVID-19 Prevention, Preparation, Response – Public Health Contractual	10,000
New-855-910.New	City Health Dept.	COVID-19 Prevention, Preparation, Response 1 ST Floor Accessible Safer Citizen Screening Desk	200,000
New-920.910-New	Living Water	COVID-19 Prepare, Respond - Food Distribution and Homework/Remote School Assistance	22,000
New-920.910-New	Neighborhood Housing Services Inc.	COVID-19 Respond - Short-term Utility, Rental & Mortgage Assistance	155,817
TOTAL CDBG REQUESTS			\$ 855,817

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That the City of Hamilton, Ohio's Substantial Amendment - Annual Action Plan for Fiscal Year 2019-2020, on file in the office of the City of Hamilton's Finance Department, and delineating the statement of objectives and proposed use and appropriation of Community Development Block Grant - CV Funds within the City, be and is hereby approved.

SECTION II: That the City Manager is hereby authorized and directed to take all necessary actions to submit said Substantial Amendment to the United States Department of Housing and Urban Development.

SECTION III: That the Community Development Block Grant-CV allocation in the amount of Eight Hundred Fifty-five Thousand Eight Hundred Seventeen Dollars (\$855,817) from the United States Department of Housing and Urban Development (HUD) be and is hereby accepted and approved.

SECTION IV: That said sum of Eight Hundred Fifty-five Thousand Eight Hundred Seventeen Dollars (\$855,817) is hereby appropriated from the un-appropriated balance in the CDBG-CV Fund for the CDBG-CV Fiscal Year 2019-2020, as set forth in detail above.

Ordinance No. _____ (cont'd)

SECTION V: This ordinance shall take effect and be in full force from and after the earliest period allowed by law after its passage.

PASSED: _____

Effective Date: _____

Mayor

ATTEST: _____
City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Butler County, Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Dave Jones, Finance Director

Agenda Item: An ordinance making supplemental appropriations for current expenses and other expenditures of the City of Hamilton, during Fiscal Year ending December 31, 2020.

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input checked="" type="checkbox"/> O General operations
<p>Ordinance or Resolution <i>Ordinance</i></p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input type="checkbox"/> Public Hearing Date:	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other):</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	<p>Total Appropriations: \$538,402 net increase to overall appropriations</p> <p>General Fund Impact: \$120,402 net increase in appropriations</p> <p>All Other Funds Impact: \$418,000 net increase in appropriations –</p> <ul style="list-style-type: none"> • \$418,000 increase in the Water Construction Fund 	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to adopt legislation to approve this supplemental appropriation ordinance?

Policy Alternative(s)

Council may choose not to adopt this Supplemental Appropriation Ordinance. If Council does not adopt legislation, the City will not have enough funds appropriated to cover costs associated with the items addressed in the Fiscal Impact Summary.



Staff Recommendation

Staff recommends that Council receive this report, concur in the recommendation and adopt the necessary legislation. The ordinance will balance accounts and provide the authority to make expenditures.

Statutory/Policy Authority

- Section 5705.38 Annual appropriation measures; classification, of the Ohio Revised Code.
- Section 5705.40 Amending or supplementing appropriation; transfer unencumbered balance; contingencies, of the Ohio Revised Code.
- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.

Fiscal Impact Summary

General Fund

- Increase appropriations \$120,402.00 in Public Works – Signal Shop for additional personnel expenses not accounted for the original 2020 budget

Special Revenue Funds

Capital Projects Funds

Debt Service Funds

Enterprise Funds

- Increase appropriations \$418,000.00 in the Water Construction Fund for additional funding needed for Spooky Nook infrastructure and Ohio Public Works Commission (OPWC) project expenditures not budgeted. The increase due to Spooky Nook is not new funding, it was overlooked in the original budget. The OPWC project expenditures are grant expenditures reimbursed by OPWC.

Internal Service Funds

Attached Information

N/A

Copies Provided to:

N/A



ORDINANCE NO. _____

AN ORDINANCE MAKING SUPPLEMENTAL APPROPRIATIONS FOR CURRENT EXPENSES AND OTHER EXPENDITURES OF THE CITY OF HAMILTON, DURING THE FISCAL YEAR ENDING DECEMBER 31, 2020.

BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

SECTION I: That the following unappropriated or unencumbered balances of funds be and the same are hereby re-appropriated as follows:

<u>NUMBER</u>	<u>FUND NAME</u>	<u>AMOUNT</u>
100	From the General Fund	48,884,186 49,004,588
	Personnel Subtotal:	35,740,404 35,860,806
	Non-Personnel Subtotal:	13,143,782 13,143,782
200	From the One Renaissance Fund	2,623,220
207	From thre Hamilton Court Sec. Proj	70,000
208	From the Hamilton Court Sp Proj Fd	29,250
210	From the Public Safety Health Inc Tax	3,405,000
211	From the Rounding Up Util Acct	7,500
212	From the Hamilton Muni Ct Cap Imp	201,000
213	From the MIT Aggregatn/Verifctn Fd	0
215	From the Ham Cap Imp Debt Serv	34,522,367
221	From the Dispute Resolution Proc Fd	<u>5,799</u>
	Personnel Subtotal:	4,799
	Non-Personnel Subtotal:	1,000
225	From the Justice Assistance Grant	18,572
227	From the Land Reutilization Fund	<u>79,007</u>
	Personnel Subtotal:	59,007
	Non-Personnel Subtotal:	20,000
231	From the Law Enforcement Trust	23,600
233	From the Safety Seat Belt Grant	0
235	From the Public Safety Spec Proj	<u>66,800</u>
	Personnel Subtotal:	40,800
	Non-Personnel Subtotal:	26,000
<u>NUMBER</u>	<u>FUND NAME</u>	<u>AMOUNT</u>
238	From the Probation Services	<u>258,826</u>
	Personnel Subtotal:	244,571
	Non-Personnel Subtotal:	14,255
240	From the Drug Law Enforcement Trust	40,000
241	From the DUI Enforcement & Eductn Trst	4,500
242	From the Indignt Drivers Alcohol Trt	11,480

246	From the Police Pension Fund		240,000
249	From the Police Levy Fund		725,000
250	From the Firemen's Pension Fund		240,000
251	From the Emergency Medical Serv Grant		0
252	From the Charter Fire Force Fund		800,000
253	From the Fire EMS Levy Fund		725,000
260	From the Immunization Action Plan Grant		0
		Personnel Subtotal:	0
		Non-Personnel Subtotal:	0
261	From the Kathryn Weiland Trust		510
		Personnel Subtotal:	0
		Non-Personnel Subtotal:	510
270	From the Street & Parks Beautification		0
278	From the Motor Vehicle License Tax Fund		300,000
279	From the Stormwater Mgmt Fund		5,913,888
		Personnel Subtotal:	874,842
		Non-Personnel Subtotal:	5,039,046
280	From the Refuse Fund		5,086,242
		Personnel Subtotal:	869,295
		Non-Personnel Subtotal:	4,216,947
281	From the Street Maintenance Fund		4,349,307
		Personnel Subtotal:	1,464,661
		Non-Personnel Subtotal:	2,884,646
283	From the Convention & Visitors Bur Fd		100,000
301	From the Special Assessments		1,467,000
303	From the Lowes MITIE Talawanda Fund		100,000
304	From the Walmart MITIE Hamilton Fund		180,000
307	From the Issue II Project Fund		1,100,000
308	From the Matandy Steel MPITIE Fund		50,000
309	From the Robinson Schwenn MPITIE Fund		4,600
310	From the Clean Ohio Grants Program		0
311	From the Infrastructure Renewal Program		7,196,500
348	From the RIDs - MPITIE Citywide District		410,000
NUMBER	FUND NAME		AMOUNT
349	From the RIDs - MPITIE North District		70,000
350	From the RIDs - MPITIE South District		42,000
351	From the Quality Publishing MPITIE Fd		10,700
352	From the Shoppes @ Hamilton MPITIE Fd		150,000
353	From the Historic Developers - Mercantile		43,000
354	From the Tippman Properties MPITIE Fd		3,900

355	From the Neturen Manufacturing TIF		60,000
356	From the Champion Mill Sports Complex TIF		0
357	From the Mixed Use Development SODA TIF		77,500
360	From the Government Building Sale Proceeds Fund		12,322,968
501	From the Gas Utility		<u>21,292,700</u>
		Personnel Subtotal:	2,568,808
		Non-Personnel Subtotal:	18,723,892
502	From the Electric Utility		<u>91,862,700</u>
		Personnel Subtotal:	10,431,863
		Non-Personnel Subtotal:	81,430,837
503	From the Water Utility		<u>14,526,607</u>
		Personnel Subtotal:	3,872,077
		Non-Personnel Subtotal:	10,654,530
504	From the Wastewater Utility		<u>13,498,900</u>
		Personnel Subtotal:	3,024,019
		Non-Personnel Subtotal:	10,474,881
512	From the Gas Construction		157,997
515	From the Gas Capital Improvement Fund		1,740,000
516	From the Gas Rate Stabilization Fd		0
517	From the Gas System Reserve		0
518	From the Gas Bond Service Fund		805,000
522	From the Electric Construction		12,337,669
524	From the Hydroelectric operations Fd		<u>2,196,564</u>
		Personnel Subtotal:	1,941,836
		Non-Personnel Subtotal:	254,728
525	From the Electric Cap Improvement Fd		7,533,300
526	From the Electric Rate Stabilization Fd		10,000,000
527	From the Electric System Reserve		10,000,000
528	From the Electric Bond Service Fd		2,693,000
531	From the Water Construction Fd		2,421,266 2,839,266
NUMBER	FUND NAME		AMOUNT
535	From the Water Cap Improvement Fd		1,312,000
536	Water Rate Stabilization Fund		0
538	From the Water Bond service Fund		1,830,000
541	From the Wastewater Construction Fd		<u>550,330</u>
		Personnel Subtotal:	0
		Non-Personnel Subtotal:	550,330
545	From the Wastewater Cap Imp Fd		2,913,170
548	From the Wastewater Bond Service Fd		3,583,000
550	From the Parking Fund		<u>527,676</u>
		Personnel Subtotal:	150,250
		Non-Personnel Subtotal:	377,426

551	From the Parking Cap Improvement Fund		0
560	From the Golf Fund		1,162,620
		Personnel Subtotal:	513,123
		Non-Personnel Subtotal:	649,497
610	From the Fleet Mtce Fund		3,121,366
		Personnel Subtotal:	1,015,648
		Non-Personnel Subtotal:	2,105,718
620	From the Central Services Fund		8,706,406
		Personnel Subtotal:	4,877,813
		Non-Personnel Subtotal:	3,828,593
640	Central Benefits Fund		990,000
650	Economic Budget Stabilization Fund		300,000
715	From the Unclaimed Monies Fund		20,000
730	From the Benninghofen Trust Fd		1,000
775	From the Sinking Fund		7,509,500

The Fund appropriations include these transfer limits:

The Fund appropriations include these advance limits:

The Fund appropriations include these return of advance limits:

SECTION II: This ordinance shall take effect and be in full force from and after the earliest period allowed by law.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____
City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, State of Ohio, hereby certify that the foregoing Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. Posted: _____

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

City Council Meeting Staff Report

Report To: The Honorable Mayor Patrick Moeller & Members of the City Council

Report From: Liz Hayden, Planning Director

Agenda Item: An Emergency Ordinance amending the City of Hamilton Zoning Ordinance No. 7503, by changing the zoning of the property located at Parcel Numbers: P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066, situated in the City of Hamilton, Butler County, Ohio, Second Third, and Fourth Wards, from various zoning districts to BPD (Business Planned Development) District. (Rex L. Carpenter, Applicant).

<p>Approvals/Reviews <i>To be checked by the Office of the City Manager once approvals received from Departments. All other boxes to be checked by the Report author</i></p>	<input checked="" type="checkbox"/> Department Head <input checked="" type="checkbox"/> Finance Department <input checked="" type="checkbox"/> Director of Law <input checked="" type="checkbox"/> Office of the City Manager	<p>Related Strategic Goal(s)</p> <input checked="" type="checkbox"/> I Realize new investments <input type="checkbox"/> J Increase gross wages <input checked="" type="checkbox"/> P Increase property values <input type="checkbox"/> R Generate recreational investments <input type="checkbox"/> E Engage citizens in activities <input type="checkbox"/> O General operations
<p>Ordinance or Resolution Ordinance</p>	<input checked="" type="checkbox"/> 1 st Reading Date: 6-24-2020 <input checked="" type="checkbox"/> 2 nd Reading Date: 6-24-2020 <input type="checkbox"/> Resolution Date: <input checked="" type="checkbox"/> Public Hearing Date: 6-24-2020	
<p>Prior Action/Review <i>Please note if this item was discussed on a prior Council or other agenda</i></p>	<p>City Council (or other): 6-10-2020 City Council Meeting Caucus Report Planning Commission Meeting: 6-4-2020</p>	
<p>Contract</p>	<input type="checkbox"/> Contract Required	<input checked="" type="checkbox"/> Additional Document(s) Attached
<p>Fiscal Impact</p>	Budgeted: \$500.00 Expenditure: \$500.00 Source Funds:	<p><i>Please see further, more detailed information regarding the fiscal impact in the summary section of this report</i></p>

Policy Issue

Does City Council wish to amend the Zoning Map of the City of Hamilton, Ohio by rezoning eight (8) Parcels associated with 131 N Third Street, 136 N Third Street, 425 Butler Street, 124 N Fifth Street, 222 N Third Street, 236 N Third Street to BPD (Business Planned Development) Zoning?

Policy Alternative(s)

Council may choose not to adopt such legislation to amend the Zoning Map. Council may also add or amend conditions of approval.



Staff Recommendation

Staff recommends that Council receives this report, concurs in the recommendation of the Planning Commission, conducts a public hearing, and adopts the necessary legislation to amend the Zoning Map of the City of Hamilton, Ohio by rezoning these eight (8) parcels to BPD (Business Planned Development).

Statutory/Policy Authority

- Section 3.09, Legislative Procedure, of the Charter of the City of Hamilton.
- Section 1180.00, Amendments, City of Hamilton Zoning Ordinance.
- Section 1132.00, "PD" General Planned Development Regulations, City of Hamilton Zoning Ordinance
- Section 1122.00, "B-1" Neighborhood Business District, City of Hamilton Zoning Ordinance
- Plan Hamilton, the City's Comprehensive Plan.

Fiscal Impact Summary

The City's current fiscal impact includes any staff time allotted to the proposed map amendments and the cost of the notifications, estimated at approximately \$500.00.

Background Information

The site in question is the former Ohio Casualty company campus. Prior to the construction of apartment units at 315 Dayton Street, the campus had been vacant for approximately ten (10) years.

Rex L. Carpenter has applied on behalf of the property owner Industrial Realty Group (IRG) to rezone the eight (8) parcels associated with the former Ohio Casualty campus to Business Planned Development (BPD). This would give the campus a consistent zoning and a single Final Planned Development Plan to guide development for the campus.

Final Planned Development Plan Overview

The campus includes three (3) buildings and multiple parking lots. The applicants propose a mixture of uses in the three (3) buildings and the associated parking lots would provide the off-street parking necessary for the proposed activity within each building. Currently, no changes to the parking lots have been proposed.

315 Dayton Street

This eight (8) story former office building is currently being reactivated. Floors six (6) and seven (7) are completed and occupied as residential apartments and floor eight (8) is under construction, slated as residential apartments. Anticipated use for remainder of building is more residential as well as office or hospitality. All building life safety systems and elevators are being brought up to current code and standards.

136 N Third Street

This six (6) story former office building could have the potential following mixture of uses: street level retail, residential, office, hospitality, educational, and light manufacturing. Renderings submitted as part of the Final Planned Development Plan show the possibility of six (6) new retail spaces and one (1) potential restaurant or bar space facing North Third Street.

IRG stated that the final mixture of uses will be determined by market demand. This building is considered historic under Section 1126.00, Architectural Conservation/Historic Districts, of the Hamilton Zoning Ordinance (HZO) and therefore exterior changes would go to the Architectural Design Review Board.



131 North Third Street

This four (4) story former print shop is proposed as a self-storage facility. Because this use is a Specific Use in a BPD (Business Planned Development) Zoning District, Planning Commission would specifically vote to approve or deny this use. The information provided on the self-storage facility included:

The proposed development includes approximately 700 storage units, most of them being five (5) by ten (10) feet and five (5) by five (5) feet units. The self-storage representative stated that the average self-storage facility produces a maximum of 4.2 trips an hour. Per the applicant, potential alternate reuses of the former print shop are limited due to the unique architecture and industrial-based makeup of the structure.

The hours of operation proposed by the storage facility company are:

- Monday – Sunday 9:30 am to 5pm office is open
- Monday – Sunday 9:30 am to 9pm tenants have access to their storage space

Plan Hamilton / Comprehensive Plan:

Plan Hamilton, the City's comprehensive plan, future land use map designates this location as Hamilton Core. Hamilton Core comprises the area of Downtown and recommends a mix of commercial, office, and residential uses, developed as walkable neighborhoods. Plan Hamilton also emphasizes reuse of buildings and preservation of historic buildings.

Third + Dayton is a development project reutilizing a ten (10)-year vacant former office complex in downtown. The Final Development plan for the properties in question include new apartments and a mix of commercial uses, while retaining and reusing existing historic and significant buildings within Hamilton's Core.

Staff Basis/Recommendation:

1. The Final Development Plan is consistent with Plan Hamilton, which states that this area is appropriate for mixed-use buildings with a combination of commercial, office, and residential uses.
2. Rezoning the identified parcels to Planned Development zoning is appropriate for multi-acre mixed-use redevelopment sites and includes regulations and controls that provide proper oversight to ensure a greater review of design characteristics, ensure that the development is compatible its surroundings and adjacent development, and ensure that such development will not adversely impact the public health, safety, or welfare of the public.

Planning Commission Recommendation:

After conducting a public hearing on June 4, 2020, the Planning Commission recommended Council approve the amendment to the Zoning Map of the City of Hamilton, Ohio by rezoning the following parcels to BPD (Business Planned Development) Zoning: P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, and P6431012000066.

The Planning Commission also approved the following items at their June 4, 2020 meeting related to this rezoning request:

- Final Planned Development Plan for Third & Dayton
- Specific Use Approval for Self-Storage Facility, located at 131 North Third Street (former print shop)
- Six (6) Waivers from the Self-Storage Conditions from BPD Zoning District standards



It is the recommendation of the Planning Department that Council receives this report, concurs in the recommendation of the Planning Staff and the Planning Commission, conducts a public hearing, and directs the passage of the necessary legislation.

Conditions for Approval:

The recommendation to City Council for the approval of the changing of the zoning of properties, subject to the following conditions:

1. The Final Development Plan shall be dependent upon the approval of the Rezoning of properties to BPD (Business Planned Development).
2. The Specific Use for Self-Storage at 131 North Third Street shall be dependent upon the approval of the rezoning of properties to BPD (Business Planned Development).
3. All development will be subject to approval through the Interdepartmental Review process and shall be compliant with the Commercial Design Standards set forth in Section 1111.00 of the Zoning Ordinance.
4. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan.
5. Any exterior changes to 136 North Third Street shall require Architectural Design Review Board approval given its designation as a locally designated historic building.
6. The self-storage facility at 131 North Third Street's signage shall be regulated in the following ways:
 - a. No banner, flag, or window signage permitted.
 - b. No signage on the Dayton Street side of the building shall be illuminated after 9 pm daily.
 - c. The signage will be similar in size, scale, and material as the signage examples submitted by the applicant, included in Exhibit C.
 - d. All future signs shall conform to the requirements of Section 1138.00, of the Hamilton Zoning Ordinance, Signage Regulations.
7. The property owner of 131 North Third Street shall work with City staff to find a way to activate the pedestrian level of the building. The self-storage company will explore options, including supporting a StreetSpark mural at the pedestrian level of the building. Final proposal will be approved by City staff.
8. The applicant shall work with the Department of Engineering to determine an appropriate location for a new overhead door at 131 North Third Street.
9. Any of the following would require an additional future Specific Use approval:
 - a. Self-storage on parcels other than 131 North Third Street.
 - b. Exterior storage of self-storage/dead-storage items anywhere within the Planned Development project area.
 - c. Parking of vehicles associated with moving businesses, self-storage, fleet storage, or other commercial vehicles for rent anywhere within the Planned Development project area.



10. All dumpsters and refuse storage areas shall be enclosed and screened in accordance with the Commercial Design Standards. All trash and debris shall be stored in enclosed dumpsters. No trash, debris, or storage unit goods shall be placed within the public right-of-way.
11. All required permits and inspections shall be obtained prior to the self-storage business commencing operation.
12. The findings of approval for the requested waivers and modifications are consistent with the requirements of the Zoning Ordinance necessary for granting such requests.
13. All conditions shall be maintained while the business is located at his location. If at any time the property is not in compliance with this approval a Notice of Violation will be sent to the applicant allowing thirty (30) days to achieve compliance.

Attached Information

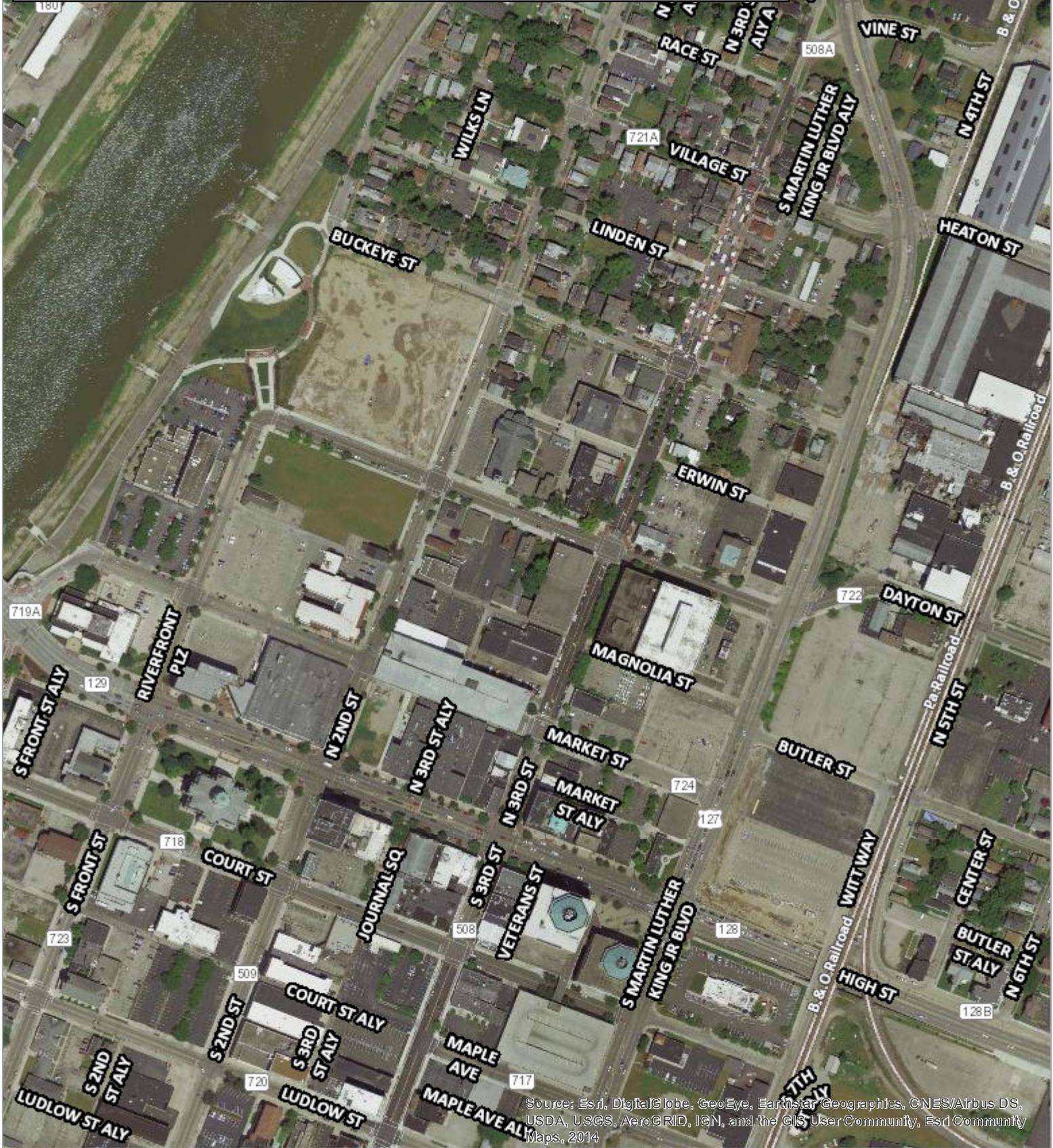
1. Exhibit A - Location Map & Exhibit Map
2. Exhibit B - Zoning Map (Existing Zoning)
3. Exhibit C - Application Items, Submission Items
4. Exhibit D - Public Hearing Notice letter (Planning Commission)
5. Exhibit E - Recommended Conditions of Approval
6. Exhibit F - Planning Commission Staff Report
7. Exhibit G - Public Hearing Notice (Council) and Proof of Posting on City Website

Copies Provided to:

N/A



Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD Exhibit A - Location Maps & Exhibit Map

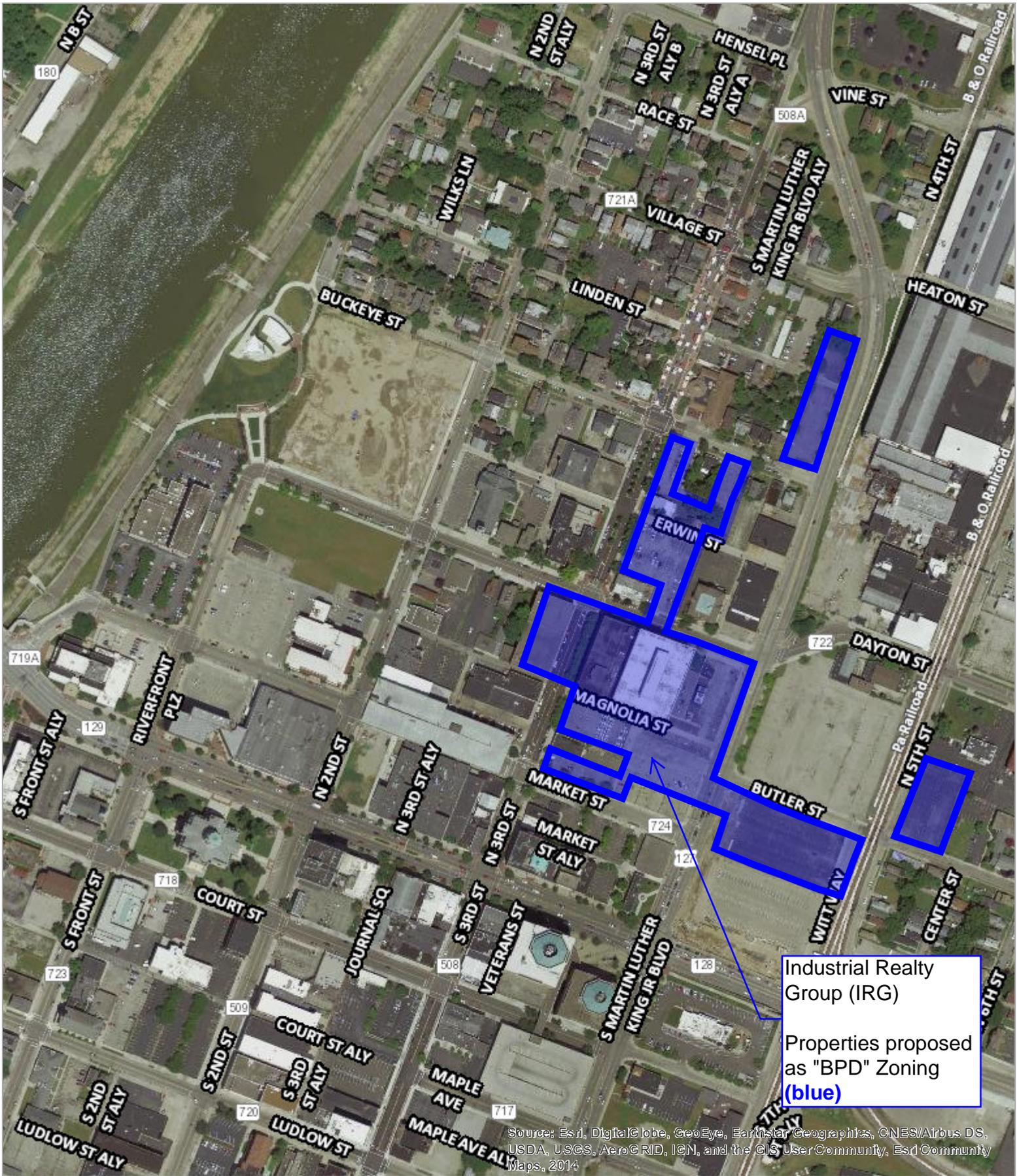


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri Community Maps, 2014



Location Map





Industrial Realty Group (IRG)
 Properties proposed as "BPD" Zoning (blue)

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS UserCommunity, Esri Community Maps, 2014



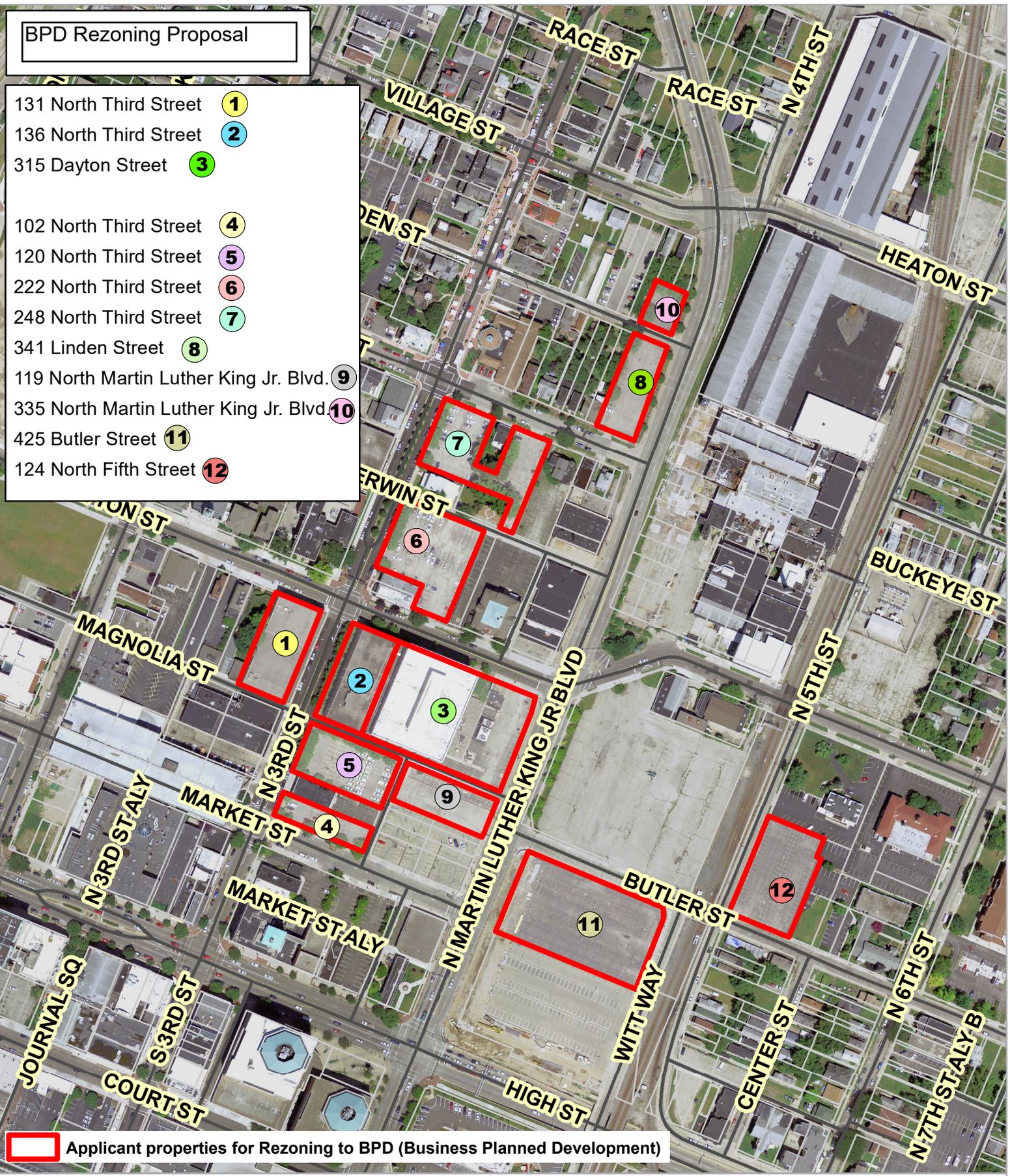
Exhibit Map



BPD Rezoning Proposal

- 131 North Third Street **1**
- 136 North Third Street **2**
- 315 Dayton Street **3**

- 102 North Third Street **4**
- 120 North Third Street **5**
- 222 North Third Street **6**
- 248 North Third Street **7**
- 341 Linden Street **8**
- 119 North Martin Luther King Jr. Blvd. **9**
- 335 North Martin Luther King Jr. Blvd. **10**
- 425 Butler Street **11**
- 124 North Fifth Street **12**



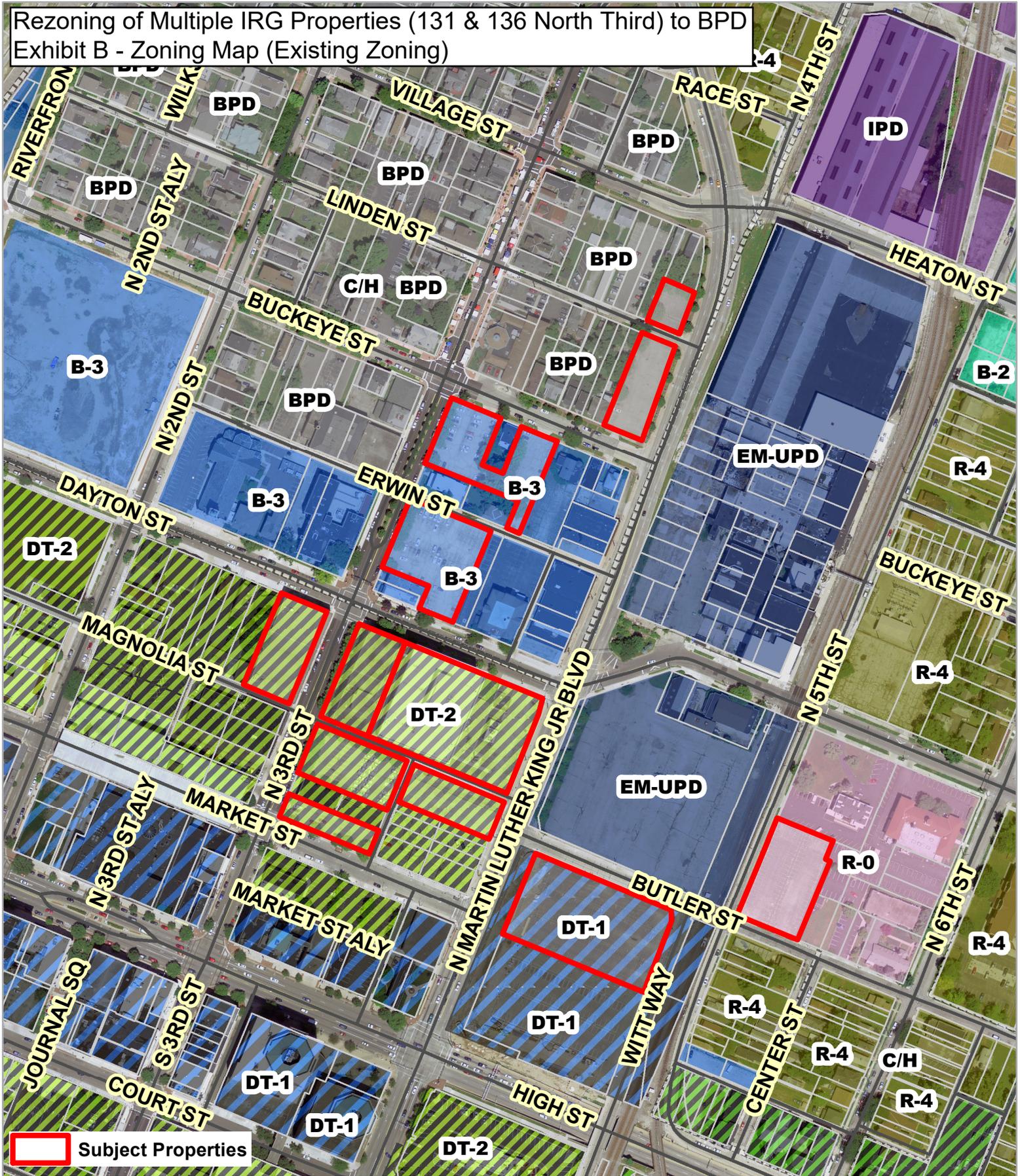
 Applicant properties for Rezoning to BPD (Business Planned Development)



Detailed Map



Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit B - Zoning Map (Existing Zoning)



Zoning Map



**Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit C - Applicant Items, Submission Items**



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

PLANNING DIVISION APPLICATION

Site Address:	131 3rd; 136 3rd; 315 Dayton and various out parcels as defined by the attached map		Project Name:	3rd+Dayton	
Lot #	Various	Zoning:	BPD; B3; DT1; DT2; I1	Subdivision:	NA
	OWNER / DEVELOPER		AGENT / APPLICANT		ARCHITECT / ENGINEER
Name	Hamilton 131 3rd LLC; Hamilton 136 3rd LLC; Hamilton 315 Dayton LLC		Rex L Carpenter		
Street Address	4020 Kinross Lakes Parkway Suite 200		4020 Kinross Lakes Parkway Suite 200		
City, State, Zip	Richfield, Ohio 44286		Richfield, Ohio 44286		
Phone# / Fax#	330-659-4060 / 330-659-3237		216-296-9971 / 330-659-3237		Phone / Fax
Cell			216-296-9971		
Email			rcarpenter@irgra.com		

ZONING (\$500 application fee)
 Existing property use: Office, Residential and vacant Present Zoning District: Various
 Proposed use: Mixed Use Requested Zoning District: BPD

LOT SPLIT / COMBINATION (Fee \$100, except if non-buildable lot split \$20) \$ _____

PRELIMINARY PLAT / FINAL PLAT APPROVAL (Fee as below) \$ _____
 Construction Plans (\$500 fee) Preliminary (\$500 fee)
 Final / Re-Plat (\$500 fee) & ___ \$40 / lot \$ 0 Sewer Impact Fee \$1,875 / lot \$ _____

PLANNED DEVELOPMENT APPROVAL (Fee as below) \$ _____
 Construction (\$500 fee) Preliminary (\$500 fee) Final (\$500 fee)
 Revision to Final Planned Development Plan - (Amend PUD/Planned Development)
 Major (\$500 fee) Moderate (\$250 fee) Minor (\$150 fee)

- Certificate of Zoning Compliance (\$50.00 fee) \$ _____
- Home Occupation Approval (\$50.00 fee) \$ _____
- Mobile Food Service / Temporary Food Service (\$50.00 fee) \$ _____
- Small Cell Facility Application Fee (\$300.00 fee) \$ _____
- Telecommunication Registration Fee (\$300.00 fee) \$ _____

TOTAL AMOUNT OF FEE ----- \$ 500.00

Rex L Carpenter
SIGNATURE OF APPLICANT

5/1/2020
DATE

Rex L. Carpenter
PRINT NAME

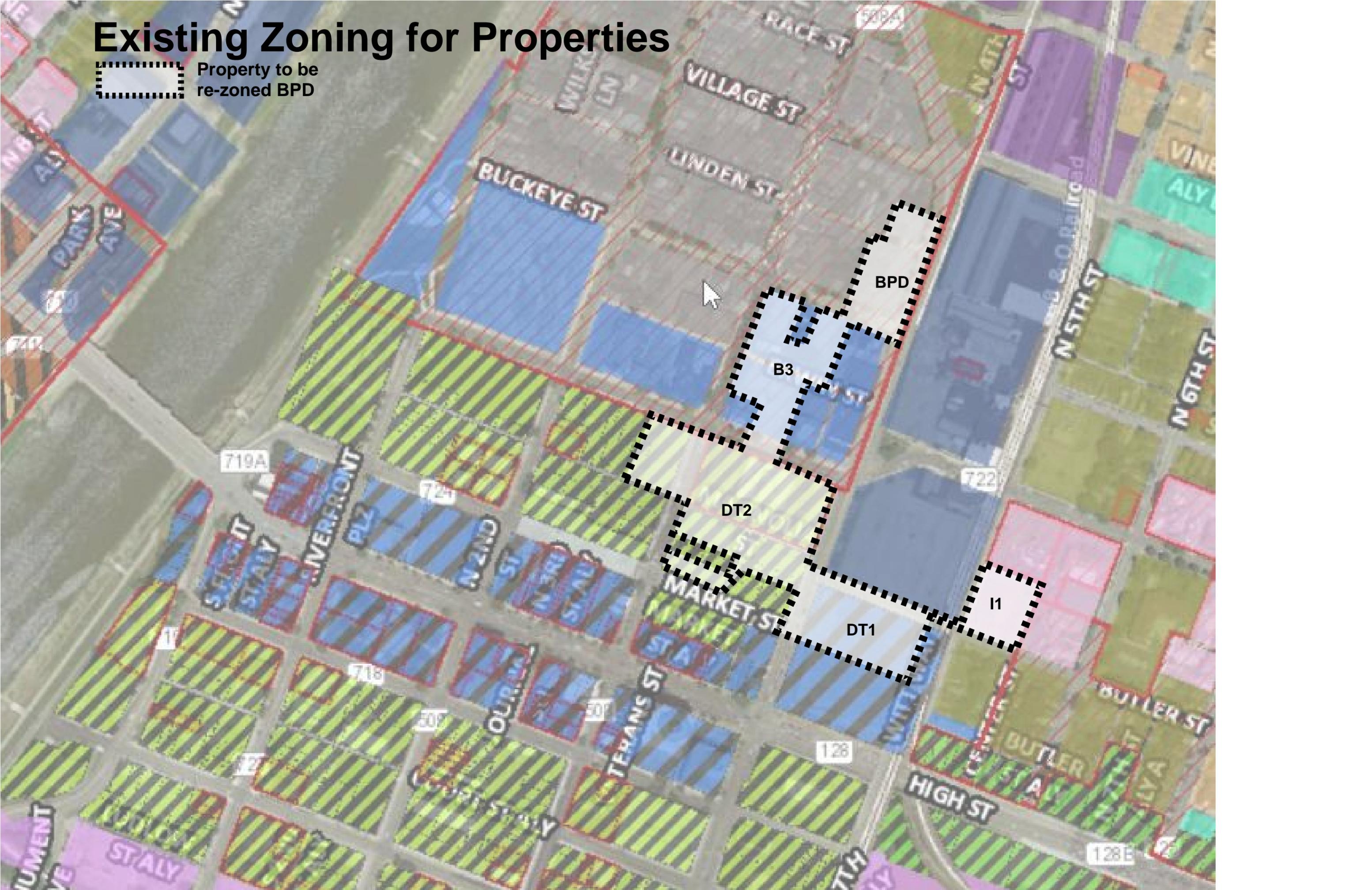
Justin Lichter Representing LLCs
SIGNATURE OF PROPERTY OWNER

5/1/2020
DATE

Justin Lichter
PRINT NAME

Existing Zoning for Properties

 Property to be re-zoned BPD



Proposed Uniform Zoning

1122.100 "BPD" BUSINESS PLANNED DEVELOPMENT DISTRICT

(Chapter Amended OR 2008-1-2)

1122.110 Purpose: The purpose of the Business Planned Development (BPD) District is to enhance commercial neighborhood/community shopping centers, or the Central Business District, by integrating a variety of uses to ensure more efficient, successful, and aesthetically pleasing developments. A BPD District must also comply with the general provisions for Planned Developments contained in Chapter 1132.00.

1122.120 Principal Permitted Uses: No building, structure or land shall be used and no building or structure shall be erected, altered or enlarged which is arranged, intended or designed for other than one of the following uses:

1122.121 Principal Uses: Principal Uses of the B-1 District (as set forth in Chapter 1120.00 - Neighborhood Business District, Section 1120.20), EXCEPT as modified by Section 1122.140 of this Chapter.

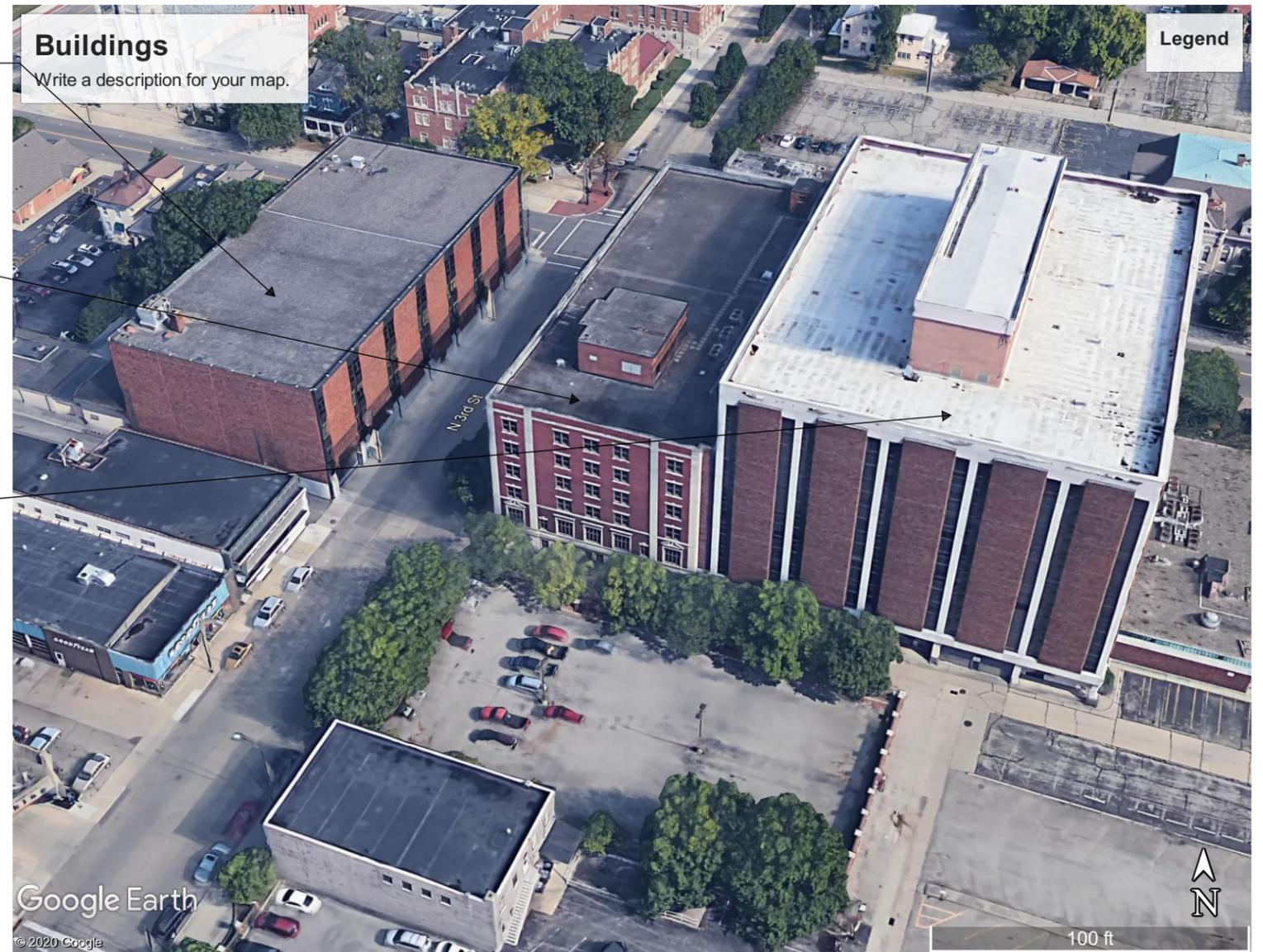
1122.130 Uses Requiring Specific Approval: A BPD may include the following uses, subject to obtaining Specific Approval by the Hamilton Planning Commission (see Chapter 1132.00 of this Ordinance for the general procedures, regulations, requirements and appeal process information applicable to Planned Developments).

1122.131 Principal: Conditionally Permitted uses of the B-1 District (Chapter 1120 - Neighborhood Business District), and Principal and Conditional Permitted uses of the B-2 and B-3 Districts (Chapter 1120.00 - Community Business District, and Chapter 1122.00 - Central Business District) and miniwarehouses, but excluding those uses prohibited by Section 1122.140 of this Chapter. While the Permitted Uses of a BPD (as listed in Section 1122.120 of this Chapter) do not require the Specific Approval of the Planning Commission, the overall Planned Development Plan does require the Commission's approval. (Amended by OR 2001-1-2)

131 N. Third previous use light industrial (print shop)

136 N. Third previous business occupancy

315 Dayton previous business occupancy
Currently top 3 floors residential



Building Conditions and Implications

131 N Third

4 Story building former print shop constructed with the first floor 32" above the sidewalk and entry lobby for dock access. No elevator service to street level. Existing enclosed dock on 3rd street and main entry lobby with stairs to elevator lobby making accessibility unfeasible. The building has limited windows due to its construction in proximity to property lines so no opportunity to add windows. This building is being considered for personal storage units due to its existing dock and limited windows. The recent addition of small residential units in 315 Dayton as well as other housing within walking distance has driven need for personal storage.

136 N Third

6 Story Building former office for Ohio Casualty Insurance, current planned use is street level retail with multiple options above, to date residential, office, hospitality, educational and light manufacturing have been explored. We anticipate a market driven use with any one or more of these uses.

315 Dayton

8 Story building former office for Ohio Casualty Insurance, currently completing conversion to floors 6,7,& 8 to residential, 6 and 7 are occupied with 8 progressing. Ground floor houses residential lobby and existing food service use that may become a restaurant. Anticipated use for remainder of building is more residential as well as office, or hospitality. All building life safety systems and elevators are being brought up to current code and standards.

Building Photos and Marketing

315 Dayton Apartments and Lobby

Luxury Downtown Apartment Suites

www.thirdanddayton.com

third + dayton

**BE
WHERE
YOU
BELONG.**

Welcome to **third+dayton** — a historic building in Hamilton's German Village and the center of a new, walkable community, where you can live, work & play.

Be part of something big.

The mixed-use project will feature office space and co-working areas, as well as retail space. Among features you will love — enjoy restaurants adjoining the building and a tranquil, outdoor courtyard all walkable to the downtown district

Wellness and entertainment— just around the corner.

Your new home is just steps from concerts and events at **RiversEdge Amphitheater** at Marcum Park. The green space along Hamilton's beautiful riverfront, offers outdoor recreation, bike paths, and live entertainment. In 2020, **Spooky Nook Sports** is slated to open nearby with activities including a rock climbing wall, indoor/outdoor fields & courts, weightlifting, fitness zones and more!



Residential Lobby



Artist rendering of 136 N Third Retail



Existing Third street view

Lifestyle Shopping & Dining

www.thirdanddayton.com

third + dayton

**LET THE
GOOD
TIMES
ROLL.**

Welcome to **third+dayton** — a historic building in Hamilton's CBD and the center of a walkable live, work & play community.

Be part of something big.

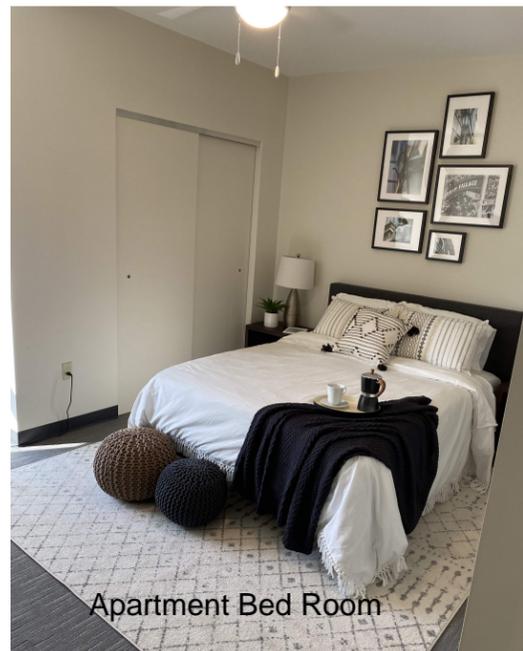
The mixed-use project will feature apartment, office, co-working and retail space with a tranquil outdoor patio and community areas. Flexible plans for restaurant and retail space is available on the first floor, with apartment suites filling up fast in the floors above. More than 100 Miami University students will live on the property beginning summer 2019.

Just the right spot.

The site is located in German Village within Hamilton's CBD. It's just steps from concerts and events at **RiversEdge Amphitheater** at Marcum Park. The green space along Hamilton's beautiful riverfront, offers outdoor recreation, bike paths, and live entertainment. In 2020, **Spooky Nook Sports** is slated to open nearby with activities including a rock climbing wall, indoor/outdoor fields & courts, weightlifting, fitness zones and more!



1 Bed Room Apartment

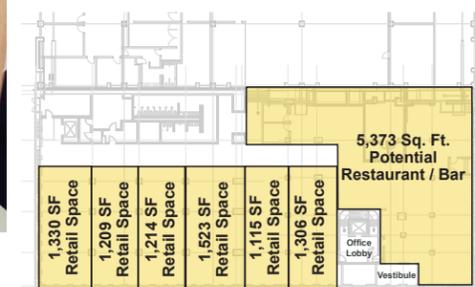


Apartment Bed Room



Apartment Living Kitchen

SPACE PLAN



Note: Space sizes subject to final designs and based on tenant demands.



English Pub

Pizza Pie



English Pub

Pizza Pie



Public Storage

Public Storage



Extra Space Storage
EXTRA SPACE STORAGE









LifeStorage

LifeStorage.net 312.222.0055

Self Storage

Office
DEPOT

NOW
OPEN





SELF-STORAGE



CUBESMART

CUBESMART

self storage

800-800-7777



**Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit D - Notices of Public Hearing**

Example of the Notice Letter sent to Owners of property proposed for rezoning

May 22, 2020

NOTICE OF PUBLIC HEARING

Attention Property Owner:

The City of Hamilton Planning Commission will hold a public hearing on **Thursday afternoon, June 4th, 2020 at 1:30 PM** in the Commission Chambers of the City Building located at 345 High Street, and via Zoom online webinar, at: <https://zoom.us/j/94796217159> Webinar ID: 947 9621 7159.

The agenda for this hearing includes the following item:

- LOCATION:** Multiple properties zoned "B-3" within the German Village Historic District & properties owned by Industrial Realty Group (102, 120, 131, 136, 222, & 248 North Third Street; 315 Dayton Street & 341 Linden Street; 119 & 335 North Martin Luther King Jr. Blvd.; 425 Butler Street & 124 North Fifth Street.) (See notification map).
- APPLICANT:** Rex L. Carpenter & City of Hamilton
- REQUEST:** The applicants have submitted requests to change the zoning of specific properties to BPD (Business Planned Development), requests to approve Final Planned Development Plans, a Specific Use Approval for a Self-Storage Facility, and Six (6) Waivers to the Self-Storage Facility regulations (see notification map).

This letter is being sent to inform you of the proposed Zone Change of your property in Hamilton (within German Village).

- **From B-3 (Central Business) to BPD (Business Planned Development) your property is being proposed for rezoning to B-3.**

Rex L. Carpenter, on behalf of Industrial Realty Group (IRG), has applied to the Planning Commission to rezone the properties owned by IRG to Business Planned Development (BPD) Zoning. The City of Hamilton has submitted an additional rezoning proposal at the same time for adjacent property that includes property you own to establish a consistent zoning district in the area. See notification map for the area in question.

Currently, this portion of the German Village Historic District is zoned B-3 Central Business District Zoning. The rest of the German Village Historic District was rezoned to BPD in 1997. Because these German Village properties are located between IRG's properties and the rest of German Village, the City of Hamilton is taking the opportunity to propose to rezone this area to BPD.

These properties will be incorporated into the Final Planned Development Plan that was established in 1997 for the German Village Historic District. This district accommodates single-family residential, multi-family residential, churches, and neighborhood style businesses such as retail, offices, restaurants, and similar uses. Given the larger scale of some of the buildings proposed to be rezoned BPD in this area, the City plans to add uses such as hotels, event centers, and similar uses to the German Village Final Planned Development Plan.

Report continued on the next page





The process to complete the Zone Change is to take the proposal to the Planning Commission for consideration and recommendation to City Council who will take final action on the request. **If approved, the proposed zone change will not impact the current residence, business, or land use of the property.** Any land use that does not conform with the BPD District will be “grandfathered” which means that said use can continue to operate as well as be transferred to a new operator, provided that there is not a vacancy of use that extends for a period exceeding six (6) months.

Because you own a property within this area, Planning staff encourages you to review the full proposal on the Planning Commission website and email or call us with any questions you may have.

<https://www.hamilton-oh.gov/planningcommission>. Our contact information is in the last paragraph of the [letter](#).

In addition to the rezoning affecting your property, the City also would like to make you aware of the application from Rex L. Carpenter. The applicant is proposing to rezone the properties IRG owns to a consistent zoning, Business Planned Development (BPD), and has provided a Final Planned Development Plan with this rezoning proposal. The purpose of the “BPD” zoning district is to enhance business districts by integrating a variety of uses and ensure more efficient and aesthetically pleasing developments.

- a. The Final Planned Development Plan calls for a mixture of uses in the three (3) buildings IRG owns. 315 Dayton is being renovated into residential, 136 North Third Street does not have identified tenants but is proposed as mixed-use that includes retail on the first floor, and 131 North Third Street is being proposed as a self-storage facility.
- b. Self-storage is a Specific Use in BPD zoning, so Planning Commission will review this part of the proposal individually. Given the existing conditions of 131 North Third Street, Planning Commission will also review six (6) waivers to the self-storage regulations as well.

An application for this project as well as the Commission Bylaws are on file in our office and available for your review. These materials, in addition to future updates and reports completed by staff during the review process, can be found online at: <https://www.hamilton-oh.gov/planningcommission>

Due to recent state mandates, the Planning Commission meeting shall be held remotely. Staff will hold the meeting through an online service and allow citizens to call into the meeting or access the meeting via website. We encourage you to access the meeting through the options below.

Call: 1 (929) 205 6099 and when prompted dial the Webinar ID: 947 9621 7159

Or use this website link to access the online meeting: <https://zoom.us/j/94796217159>

Webinar ID: 947 9621 7159.

If you have any questions or comments concerning this matter, please forward your comments in writing for presentation at the meeting, or, please contact the Planning Department via email at planning@hamilton-oh.gov or contact Ed Wilson, AICP or Liz Hayden, Planning Director of the City of Hamilton Planning Department at (513) 785-7350.

Sincerely,

Edward Wilson J.J.F

Mr. Ed Wilson, AICP
Associate Planner II

Report continued on the next page





Example of the Notice Letter sent to Property Owners within 500 Feet of Subject Area

May 22, 2020

NOTICE OF PUBLIC HEARING

Attention Property Owner:

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- APPLICANT:** Rex L. Carpenter & City of Hamilton
- REQUEST:** The applicants have submitted requests to change the zoning of specific properties to BPD (Business Planned Development), requests to approve Final Planned Development Plans, a Specific Use Approval for a Self-Storage Facility, and Six (6) Waivers to the Self-Storage Facility regulations (see notification map).

Your property is not part of the rezoning project. However, you are a property owner located within 500 feet of the area being considered for rezoning and, as such, are receiving this letter to provide notification of the proposal in accordance with statutes outline for the operation of the Planning Commission.

There are two (2) separate rezoning applications being reviewed by the Planning Commission for properties near a property you own. Overviews of the proposals are provided below. Please note that the applications and additional information on these two projects are available on the Planning Commission website for your review: <https://www.hamilton-oh.gov/planningcommission>.

2. The first application is from Rex L. Carpenter on behalf of Industrial Realty Group (IRG), which owns the properties listed in the addresses listed in the "Location" section of the information above (see notification map). The applicant is proposing to rezone the properties IRG owns to a consistent zoning, Business Planned Development (BPD), and has provided a Final Planned Development Plan with this rezoning proposal. The purpose of the "BPD" zoning district is to enhance business districts by integrating a variety of uses and ensure more efficient and aesthetically pleasing developments
 - a. The Final Planned Development Plan calls for a mixture of uses in the three (3) buildings IRG owns. 315 Dayton is being renovated into residential, 136 North Third Street does not have identified tenants but is proposed as mixed-use that includes retail on the first floor, and 131 North Third Street is being proposed as a self-storage facility.
 - b. Self-storage is a Specific Use in BPD zoning, so Planning Commission will review this part of the proposal individually. Given the existing conditions of 131 North Third Street, Planning Commission will also review six (6) waivers to the self-storage regulations as well.
3. The second application comes from the City of Hamilton. Currently, a portion of the German

Report continued on the next page





Village Historic District is zoned B-3 Central Business District Zoning. The rest of the German Village Historic District was rezoned to BPD in 1997. Because these German Village properties are located between IRG's properties and the rest of German Village, the City of Hamilton is taking the opportunity to rezone this area to BPD at the same time to establish a consistent zoning in the area. Please see the notification map for the properties in question.

- a. These properties will be incorporated into the Final Planned Development Plan that was established in 1997 for the German Village Historic District. This district accommodates single-family residential, multi-family residential, churches, and neighborhood style businesses such as retail, offices, restaurants, and similar uses. Given the larger scale of some of the buildings proposed to be rezoned BPD in this area, the City plans to add appropriate uses such as hotels, event centers, and similar uses to the Final Planned Development Plan.

The process to complete the Zone Change is to take the proposal to the Planning Commission for consideration and recommendation to City Council who will take final action on the request. **If approved, the proposed zone change will not impact the current residence, business, or land use of the property.** Any land use that does not conform with the BPD District will be "grandfathered" which means that said use can continue to operate as well as be transferred to a new operator, provided that there is not a vacancy of use that extends for a period exceeding six (6) months.

Due to recent state mandates, the Planning Commission meeting shall be held remotely. Staff will hold the meeting through an online service and allow citizens to call into the meeting or access the meeting via website. We encourage you to access the meeting through the options below.

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Sincerely,

Edward Wilson J.F.F.

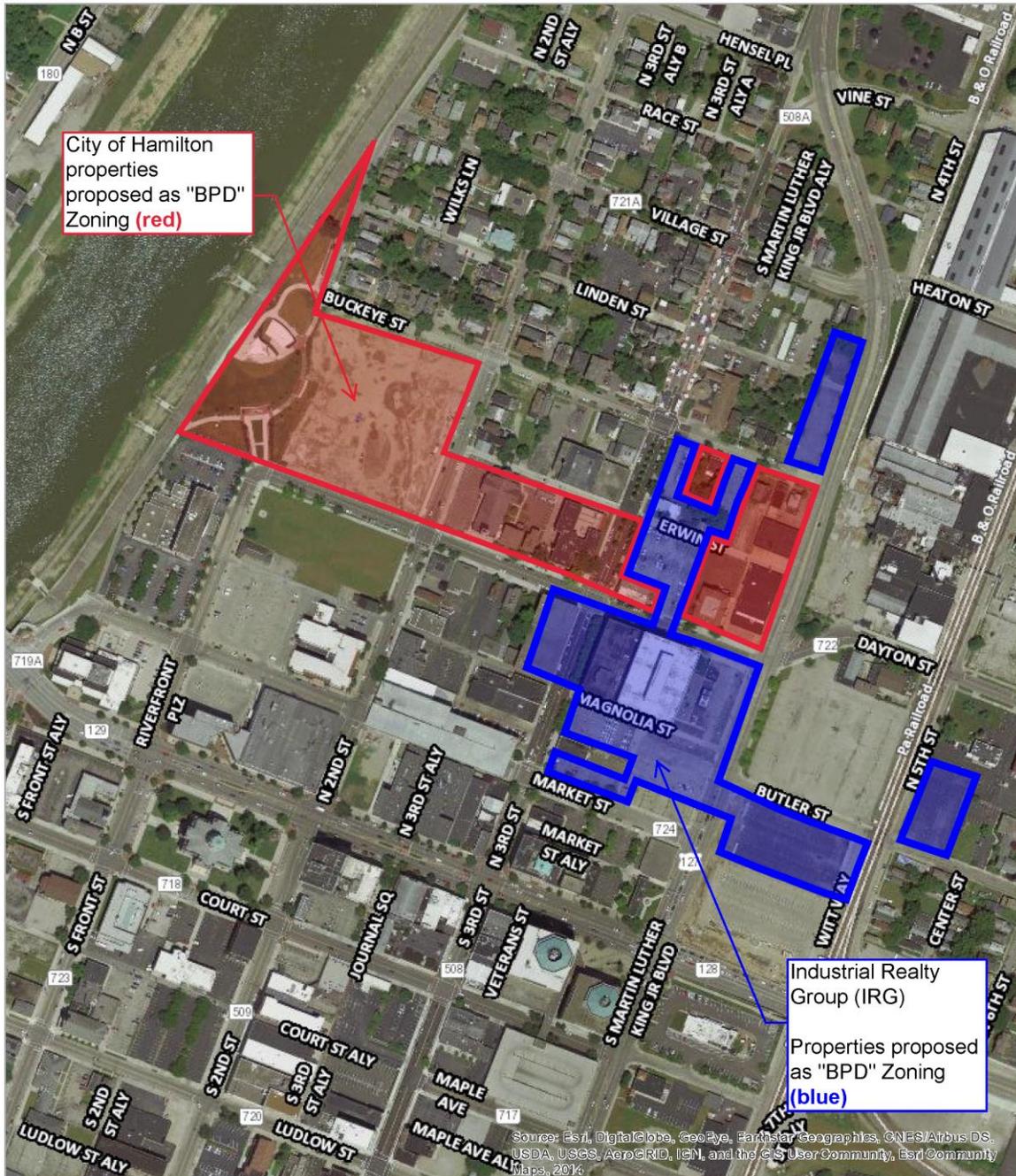
Mr. Ed Wilson, AICP
Associate Planner II

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Map utilized for the mailed Public Hearing Notices



Notice Map

City of Hamilton
BUTLER COUNTY OHIO

Date: 5/20/2020

The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. The City of Hamilton makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is the exclusive risk of the user.

1 inch = 417 feet

Report continued on the next page





**Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit E - Recommended Conditions of Approval**

BASIC INFORMATION	
Applicant/Property Owner	Rex L. Carpenter on behalf of Hamilton 131 3 rd LLC, Hamilton 136 3 rd LLC, and 315 Dayton LLC
Architect/Engineer/Consultant	Rex L. Carpenter and Barry Sherman
Size of Property	5.84 acres (0.49 acres owned by ownership group already zoned BPD)
Current Zoning	B-3 (Central Business Zoning District), DT-2 (Downtown-2 Form Based Zoning) DT-1 (Downtown-1 Form Based Zoning), and R-O (Multi-Family Residential Office Zoning)
Size of Revision	5.84 acres

Conditions for Approval

The recommendation to City Council for the rezoning request and the Planning Commission’s final action of approval are subject to the following conditions:

1. The Final Development Plan shall be dependent upon the approval of the Rezoning of properties to BPD (Business Planned Development).
2. The Specific Use for Self-Storage at 131 North Third Street shall be dependent upon the approval of the rezoning of properties to BPD (Business Planned Development).
3. All development will be subject to approval through the Interdepartmental Review process and shall be compliant with the Commercial Designs Standards set forth in Section 1111.00 of the Zoning Ordinance.
4. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan.
5. Any exterior changes to 136 North Third Street shall require Architectural Design Review Board approval given its designation as a locally designated historic building.
6. The self-storage facility at 131 North Third Street’s signage shall be regulated in the following ways:
 - a. No banner, flag, or window signage permitted.
 - b. No signage on the Dayton Street side of the building shall be illuminated after 9 pm daily.

Report continued on the next page





- c. The signage will be similar in size, scale, and material as the signage examples submitted by the applicant, included in Exhibit C.
 - d. All future signs shall conform to the requirements of Section 1138.00, of the Hamilton Zoning Ordinance, Signage Regulations.
7. The property owner of 131 North Third Street shall work with City staff to find a way to activate the pedestrian level of the building. The self-storage company will explore options, including supporting a StreetSpark mural at the pedestrian level of the building. Final proposal will be approved by City staff.
 8. The applicant shall work with the Department of Engineering to determine an appropriate location for a new overhead door at 131 North Third Street.
 9. Any of the following would require an additional future Specific Use approval:
 - a. Self-storage on parcels other than 131 North Third Street.
 - b. Exterior storage of self-storage/dead-storage items anywhere within the Planned Development project area.
 - c. Parking of vehicles associated with moving businesses, self-storage, fleet storage, or other commercial vehicles for rent anywhere within the Planned Development project area.
 10. All dumpsters and refuse storage areas shall be enclosed and screened in accordance with the Commercial Design Standards. All trash and debris shall be stored in enclosed dumpsters. No trash, debris, or storage unit goods shall be placed within the public right-of-way.
 11. All required permits and inspections shall be obtained prior to the self-storage business commencing operation.
 12. The findings of approval for the requested waivers and modifications are consistent with the requirements of the Zoning Ordinance necessary for granting such requests.
 13. All conditions shall be maintained while the business is located at his location. If at any time the property is not in compliance with this approval a Notice of Violation will be sent to the applicant allowing thirty (30) days to achieve compliance.

Report continued on the next page



**Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit F - Planning Commission Staff Report**



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

For the Planning Commission Meeting of June 4, 2020

To: Planning Commission
From: Liz Hayden, Planning Director
Ed Wilson, AICP, Associate Planner II
Date: May 12, 2020

Subject: **AGENDA ITEM #1- New Business**
Four (4) requests pertaining to Multiple Properties regarding a rezoning request to BPD (Business Planned Development) zoning.

APPLICANT: Rex L. Carpenter on behalf of Hamilton 131 3rd LLC, Hamilton 136 3rd LLC, and 315 Dayton LLC

LOCATION: 131 N Third Street, 136 N Third Street, 425 Butler Street, 124 N Fifth Street, 222 N Third Street, 236 N Third Street, Hamilton, Ohio (Parcel Numbers # P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066) (See [Exhibit A](#) maps & [Exhibit C](#))

- REQUEST:** The submitted application pertains to the following requests:
- 1) Change the zoning of properties from B-3 (Central Business Zoning District), DT-2 (Downtown-2 Form Based Zoning District), DT-1 (Downtown-1 Form Based Zoning District), and R-O (Multi-Family Office Zoning District) to BPD (Business Planned Development Zoning District)
 - 2) Final Planned Development Plan for Third & Dayton
 - 3) Specific Use Approval for Self-Storage Facility, located at 131 North Third Street (former print shop)
 - 4) Six (6) Waivers from the Self-Storage Conditions from BPD Zoning District standards

BASIC INFORMATION	
Applicant/Property Owner	Rex L. Carpenter on behalf of Hamilton 131 3 rd LLC, Hamilton 136 3 rd LLC, and 315 Dayton LLC
Architect/Engineer/Consultant	Rex L. Carpenter and Barry Sherman
Size of Property	5.84 acres (0.49 acres owned by ownership group already zoned BPD)
Current Zoning	B-3 (Central Business Zoning) , DT-2 (Downtown-2 Form Based Zoning) , DT-1 (Downtown-1 Form Based Zoning) , and R-O (Multi-Family Residential Office Zoning)
Size of Revision	5.84 acres

Report continued on the next page





ADJACENT LAND USE/ZONING INFORMATION		
<i>Direction</i>	<i>Land Use</i>	<i>Zoning</i>
North	Commercial, Non-Profit, Residential	BPD and B-3 Zoning Districts
South	Commercial	DT-2
East	Commercial	R-O and EM-UPD (Entertainment Mixed Use Planned Development)
West	Commercial	DT-2

Section A: Introduction and Background

Section A.1: Rezoning Overview

Industrial Realty Group (IRG) currently owns all the properties associated with the rezoning request. The proposed rezoning establishes a consistent zoning for all properties that have operated as a single campus for decades. After reviewing the proposed mixture of uses, Planning staff recommended that Business Planned Development (BPD) Zoning was the most appropriate zoning district because of its combination of design and use flexibility and the oversight by Planning Commission. Due to the proposed rezoning to BPD, a Final Planned Development proposal (or Master Plan) is required.

Section A.2: History & Existing Site Conditions

The site in question is the former Ohio Casualty company. Prior to the construction of apartment units at 315 Dayton Street, the campus had been vacant for approximately ten (10) years.

Section A.3: Final Planned Development Plan Overview

The campus includes three (3) buildings and multiple parking lots. The applicants propose a mixture of uses in the three (3) buildings and the associated parking lots would provide the off-street parking necessary for the proposed activity within each building. No changes to the parking lots have been proposed.

315 Dayton Street

This eight (8) story former office building is currently being reactivated. Floors six and seven are completed and occupied as residential apartments and floor eight is under construction, slated as residential apartments. Anticipated use for remainder of building is more residential as well as office or hospitality. All building life safety systems and elevators are being brought up to current code and standards.

Report continued on the next page





136 N Third Street

This six (6) story former office building could have the potential following mixture of uses: street level retail, residential, office, hospitality, educational, and light manufacturing. Renderings submitted as part of the Final Planned Development Plan show the possibility of six (6) new retail spaces and one (1) potential restaurant or bar space facing North Third Street.

IRG stated that the final mixture of uses will be determined by market demand. This building is considered historic under Section 1126.00 of the Hamilton Zoning Ordinance (HZO) and therefore exterior changes would go to the Architectural Design Review Board.

131 North Third Street

This four (4) story former print shop is proposed as a self-storage facility. Because this use is a Specific Use in BPD Zoning, more detail is provided on this proposal in sections A.5 and A.6.

Section A.4: Proposed Exterior Building Changes

315 Dayton Street

The only exterior change to the building has been the addition of the “Third + Dayton” signage associated with the new apartments added to the building. No additional exterior changes are proposed for this building at this time.

136 North Third Street

No immediate exterior changes are proposed for this building. However, the property owner envisions that changes to the first floor to activate it with retail users may occur, which may include adding new doors and windows to accommodate new retail and restaurant space facing North Third Street. Any proposed exterior changes would be approved by the Architectural Design Review Board.

131 North Third Street

Access point identification

- An architectural element designated or defining the office entry as well as the enclosed loading area.

Signage

- LED lite “channel” signs for the Self-Storage facility brand
- Operational signage to identify the office and loading zones

Report continued on the next page





Overhead dock doors

- Dock door onto Third Street will be reactivated.
- Potential new door proposed on Magnolia Street, to be discussed with the City of Hamilton Traffic Division.

Section A.5: Specific Use Approval for Self-Storage Facilities

The applicant is requesting a Specific Use Approval for Self-Storage Facilities for 131 North Third Street. The applicant cited increased residential density in the downtown area driving demand for nearby self-storage space. 131 North Third Street was constructed as a print shop. The first floor begins 32 inches above the sidewalk and the elevator does not reach street level. The building has limited windows and pedestrian accessibility.

The proposed development includes approximately 700 storage units, most of them being five (5) by ten (10) feet and five (5) by five (5) feet units. The self-storage representative stated that the average self-storage facility produces a maximum of 4.2 trips an hour.

The hours of operation proposed by the storage facility company are:

- Monday – Sunday 9:30 am to 5pm office is open
- Monday – Sunday 9:30 am to 9pm tenants have access to their storage space

Section A.6: Waivers to the Specific Use Conditions

Six (6) of the Self-Storage Specific Use regulations in the BPD Zoning District, Section [1121.170](#) of the Hamilton Zoning Ordinance would need to be waived for 131 North Third Street to be utilized for Self-Storage. The following conditions would need to be waived in order to approve the Specific Use Approval:

1. Minimum Lot Area of 2 acres
2. 60 Percent Lot Coverage Maximum
3. Off-Street Parking and Interior Driveways: Parking shall be provided by parking/driving lanes adjacent to the buildings. These lanes shall be at least twenty-five (25) feet wide when cubicles open onto one side of the lane and at least thirty (30) feet wide when cubicles open onto both sides of the lane.
4. Access: One point of ingress and egress shall be provided off an arterial road with a minimum width of twenty-eight (28) feet and with enough stacking depth for two (2) vehicles or from the interior of an adjacent property via a common access easement.

Report continued on the next page





5. Landscaping. Where the subject lot is adjacent to a residential zoning district, a twenty-five (25) foot landscaped yard shall be constructed on the subject lot to serve as a buffer between the subject lot and the adjacent residential zoning district. Where the subject lot is within 100 feet of a residential zoning district or across the street from a residential zoning district, a twenty (20) foot landscaped front yard shall be constructed on the subject lot to serve as a buffer between the subject lot and the residential zoning district. The landscaping shall be in addition to any architectural screening type fences or structures designed to screen the use from the residential neighborhood.
6. Fencing. A fence shall be erected for the purpose of security around the entire facility and shall be located not closer than six (6) feet from a boundary property line. The fence shall not exceed eight (8) feet in height, unless unusual topography or similar situations may permit a fence not exceeding ten (10) feet in height. No fence shall be permitted in the front yard area.

See Section [1122.170](#) of the Hamilton Zoning Ordinance for greater detail on the proposed waivers.

Section B: Petition Review

Section B.1: Submitted Request

The applicant is requesting the change in zoning designation of multiple parcels with several different zoning districts to BPD (Business Planned Development) Zoning District. Planned Development zoning is appropriate for multi-acre sites that require an alternative to standard zoning guidelines and it encourages superior and imaginative design in function in developments. The applicant has proposed a Final Development Plan associated with the rezoning request that includes a Specific Use Approval for a Self-Storage Facility with six (6) waivers.

Section B.2: Review of Applicant Submittal Materials

The plans submitted with the rezoning and Final Planned Development request include:

- A summary of proposed, existing, and potential uses
- Photos of the existing apartments
- Artist rendering of 136 N Third retail spaces and potential retail space layouts
- A narrative description of the project
- Photos of similar self-storage facilities, including signage

Section A of the staff report provides an overview of the project and its developers. See [Exhibit C](#) to review the detailed applicant information.

Report continued on the next page





Section B.3: Interdepartmental Review

The city's Interdepartmental Review Committee evaluated the proposed plan and as of the writing of this report had no comment or objection.

Section C: Statutes:

Section [1180.00](#) of the Hamilton Zoning Ordinance provides the basis and process for the rezoning of property within the city, while Section [1122.100](#) of the Hamilton Zoning Ordinance regulates the BPD (Business Planned Development) zoning district.

The purposes of the BPD zoning district is to enhance commercial neighborhood/community shopping centers, or the Central Business District, by integrating a variety of uses to ensure more efficient, successful, and aesthetically pleasing developments. BPD zoned properties are also regulated by the provisions of Section [1132.00](#), Planned Development (PD) provisions.

Section [1132.00](#) of the Hamilton Zoning Ordinance regulates the Planned Development (PD) provisions, providing an alternative to standard zoning guidelines.

Per Section [1132.10](#), the regulations are intended to:

- A. Encourage superior and imaginative design and function in developments
- B. Establish an alternative procedure for the development of land in order to allow for more efficient and economic development of property than customarily permitted by conventional zoning and subdivision regulations
- C. Ensure orderly and thorough planning and review procedures that lead to higher quality design and development
- D. Encourage the conservation of natural amenities of the landscape
- E. Encourage the provision of usable common open space
- F. Enable greater review of design characteristics to ensure that the development project is properly integrated into its surroundings and is compatible with adjacent development.

Report continued on the next page





Section [1132.43](#) of the HZO identifies when a waiver may be appropriate. The Section states:

“In determining whether or not to waive or vary the General Design Standards found in any PD district, the Planning Commission shall consider and find that four (4) out of the five (5) following criteria apply to any specific PD:

- A. The proposed development is in conformance with the principles of the City Comprehensive Plan;
- B. The proposed development advances the general welfare of the city and immediate vicinity and will not impede the normal and orderly development and improvement of surrounding and abutting areas;
- C. Adequate utilities, access roads, drainage, retention/detention facilities are provided;
- D. The proposed development design, site arrangement, and/or anticipated benefits of the proposed development justify any deviation from the General Design Standards found herein;
- E. The proposed development design exceeds the quality of the building and site design in the immediate area.”

Plan Hamilton is the updated Comprehensive Plan for the city; a living document meant to guide zoning and land use decisions for the present and the future. Rezoning proposals and subsequent land use implications should be compared with the recommendations of Plan Hamilton. This area is identified as Urban Core on the Future Land Use Map. Urban Core should include a mix of commercial, office, and residential uses developed as walk-able neighborhoods with an urban character. Urban Core contains properties for urban living and activities as described throughout the plan.

Section D: Notification

The Planning Department mailed Public Hearing Notices to 164 owners of properties within 500 feet of the subject property per statute requirements (See [Exhibit D](#)). As of the writing of this report, the Planning Department received no phone calls or inquiries.

Report continued on the next page





Section E: Recommendations

Section E.1: Request for rezoning of properties to BPD (Business Planned Development)

The Planning Commission can provide a favorable recommendation to City Council for the rezoning or deny the rezoning proposal. The Planning Department recommends the following motion to City Council:

1. That the Planning Commission take action to recommend to City Council that they approve the changing of the zoning of the parcels identified in the exhibit map to BPD (Business Planned Development) Zoning District, with conditions.

Section E.2: Request for Final Planned Development

The Planning Commission can approve or deny the Final Planned Development Plan. The Planning Department recommends the following motion:

2. That the Planning Commission take final action to approve the Final Planned Development Plan and approve the six (6) waivers to the Planned Development regulations.

Section E.3: Request for Specific Use (Self-Storage) and Waivers to PD Standards pertaining to the Self-Storage use.

The Planning Commission can approve or deny the Specific Use for a Self-Storage Facility, and approve or deny the six (6) waivers to the Planned Development Regulations. The Planning Department recommends the following motion:

3. That the Planning Commission take final action to approve the Specific Use for a Self-Storage Facility at 131 North Third Street and
4. That the Planning Commission take final action to approve the six (6) waivers to the Planned Development regulations to allow the Self-Storage Facility.

Report continued on the next page





Conditions for Approval (See [Exhibit E](#)):

The recommendation to City Council for the rezoning request and the Planning Commission's final action of approval are subject to the following conditions:

1. The Final Development Plan shall be dependent upon the approval of the Rezoning of properties to BPD (Business Planned Development).
2. The Specific Use for Self-Storage at 131 North Third Street shall be dependent upon the approval of the rezoning of properties to BPD (Business Planned Development).
3. All development will be subject to approval through the Interdepartmental Review process and shall be compliant with the Commercial Designs Standards set forth in Section [1111.00](#) of the Zoning Ordinance.
4. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan.
5. Any exterior changes to 136 North Third Street shall require Architectural Design Review Board approval given its designation as a locally designated historic building.
6. The self-storage facility at 131 North Third Street's signage shall be regulated in the following ways:
 - a. No banner, flag, or window signage permitted.
 - b. No signage on the Dayton Street side of the building shall be illuminated after 9 pm daily.
 - c. The signage will be similar in size, scale, and material as the signage examples submitted by the applicant, included in Exhibit C.
 - d. All future signs shall conform to the requirements of Section [1138.00](#), of the Hamilton Zoning Ordinance, Signage Regulations.
7. The property owner of 131 North Third Street shall work with City staff to find a way to activate the pedestrian level of the building. The self-storage company will explore options, including supporting a StreetSpark mural at the pedestrian level of the building. Final proposal will be approved by City staff.
8. The applicant shall work with the Department of Engineering to determine an appropriate location for a new overhead door at 131 North Third Street.

Report continued on the next page





9. Any of the following would require an additional future Specific Use approval:
 - a. Self-storage on parcels other than 131 North Third Street.
 - b. Exterior storage of self-storage/dead-storage items anywhere within the Planned Development project area.
 - c. Parking of vehicles associated with moving businesses, self-storage, fleet storage, or other commercial vehicles for rent anywhere within the Planned Development project area.
10. All dumpsters and refuse storage areas shall be enclosed and screened in accordance with the Commercial Design Standards. All trash and debris shall be stored in enclosed dumpsters. No trash, debris, or storage unit goods shall be placed within the public right-of-way.
11. All required permits and inspections shall be obtained prior to the self-storage business commencing operation.
12. The findings of approval for the requested waivers and modifications are consistent with the requirements of the Zoning Ordinance necessary for granting such requests.
13. All conditions shall be maintained while the business is located at his location. If at any time the property is not in compliance with this approval a Notice of Violation will be sent to the applicant allowing thirty (30) days to achieve compliance.

Report continued on the next page





Section F: Staff Basis / Comments

Staff finds the proposed rezoning of the subject property to BPD (Business Planned Development), the Final Planned Development, the Self-Storage Specific Use, and granting of PD waivers to be consistent with the intent and purpose of rezoning and the purpose of the BPD zoning district, in the following ways:

1. The Final Development Plan is consistent with Plan Hamilton, which states that this area is appropriate for mixed-use buildings with a combination of commercial, office, and residential uses.
2. Rezoning the identified parcels to Planned Development zoning is appropriate for multi-acre mixed-use redevelopment sites and includes regulations and controls that provide proper oversight to ensure a greater review of design characteristics, ensure that the development is compatible its surroundings and adjacent development, and ensure that such development will not adversely impact the public health, safety, or welfare of the public.
3. The Specific Use approval for a Self-Storage facility is appropriate for 131 North Third Street for the following reasons:
 - a. It is part of a larger mixed-use development that will reactivate approximately 500,000 square feet of long-vacant space with uses identified as objectives in Plan Hamilton.
 - b. 131 North Third Street is a challenging building to redevelop because of the design of the former print shop.
 - c. Self-storage is a use that is in-demand for residents living in the apartments being created in downtown Hamilton.
4. Planning Commission has discretion to approve Planned Development waivers. To approve a waiver, four (4) out of five (5) criteria must be met. Staff believes this the Self-Storage Facility Specific Use project meets four (4) of the criteria.
 - A. *The proposed development is in conformance with the principles of the City Comprehensive Plan.* The self-storage is one piece of a 500,000 square foot mixed-use development that brings residential and commercial amenities is in conformance with Plan Hamilton. 400,000 square feet of this development will be with uses specifically identified as ideal future land uses for the Urban Core.
 - B. *The proposed development advances the general welfare of the city and immediate vicinity and will not impede the normal and orderly development and improvement of surrounding and abutting areas.* The Self-Storage proposal reactivates a long-vacant building in Hamilton's downtown. The exterior changes to the building are minimal in nature and

Report continued on the next page





it will not create significant additional vehicular traffic. Self-storage is a service that is in demand from apartment-dwelling residents in downtown Hamilton.

- C. *Adequate utilities, access roads, drainage, retention/detention facilities are provided.* Infrastructure is adequate.

- D. *The proposed development design, site arrangement, and/or anticipated benefits of the proposed development justify any deviation from the General Design Standards found herein.* The proposal requires waivers from the self-storage regulations because some of the self-storage regulations are written for new and/or suburban development. This is an adaptive reuse of an existing urban building that has zero setback from the right-of-way, therefore is unable to provide for off-street parking, fencing, or landscaping. For the same reason, the 2 acre minimum and 60 percent lot coverage requirements are not compatible with downtown development.

Section G: Attachments

The following attachments are listed in chronological order as they appear in the report.

1. [Exhibit A - Location Map](#)
 - a. [General Area Map](#)
 - b. [Map depicting applicant properties proposed for BPD Zoning](#)
 - c. [Detailed Map depicting the subject properties](#)

2. [Exhibit B – Zoning Map](#)
3. [Exhibit C – Application Items](#)
4. [Exhibit D – Public Hearing Notice letter](#)
5. [Exhibit E – Recommended Conditions of Approval](#)

Report continued on the next page



Rezoning of Multiple IRG Properties (131 & 136 North Third) to BPD
Exhibit G - Public Hearing Notice and Proof of Posting on City Website



Planning Department
345 High Street, 3rd floor
Hamilton, Ohio 45011

LEGAL NOTICE TO CITY WEBSITE

City Contact: Ed Wilson, AICP
Date Sent and Posted: May 22, 2020
Run Indefinitely, Until: June 24, 2020 (Date of Public Hearing)

LEGAL NOTICE OF PUBLIC HEARING

The Hamilton City Council will hold a public hearing on **Wednesday evening, June 24, 2020 at 6:00 PM** in the Council Chambers of the City Building located at 345 High Street. The agenda for this hearing includes the following item:

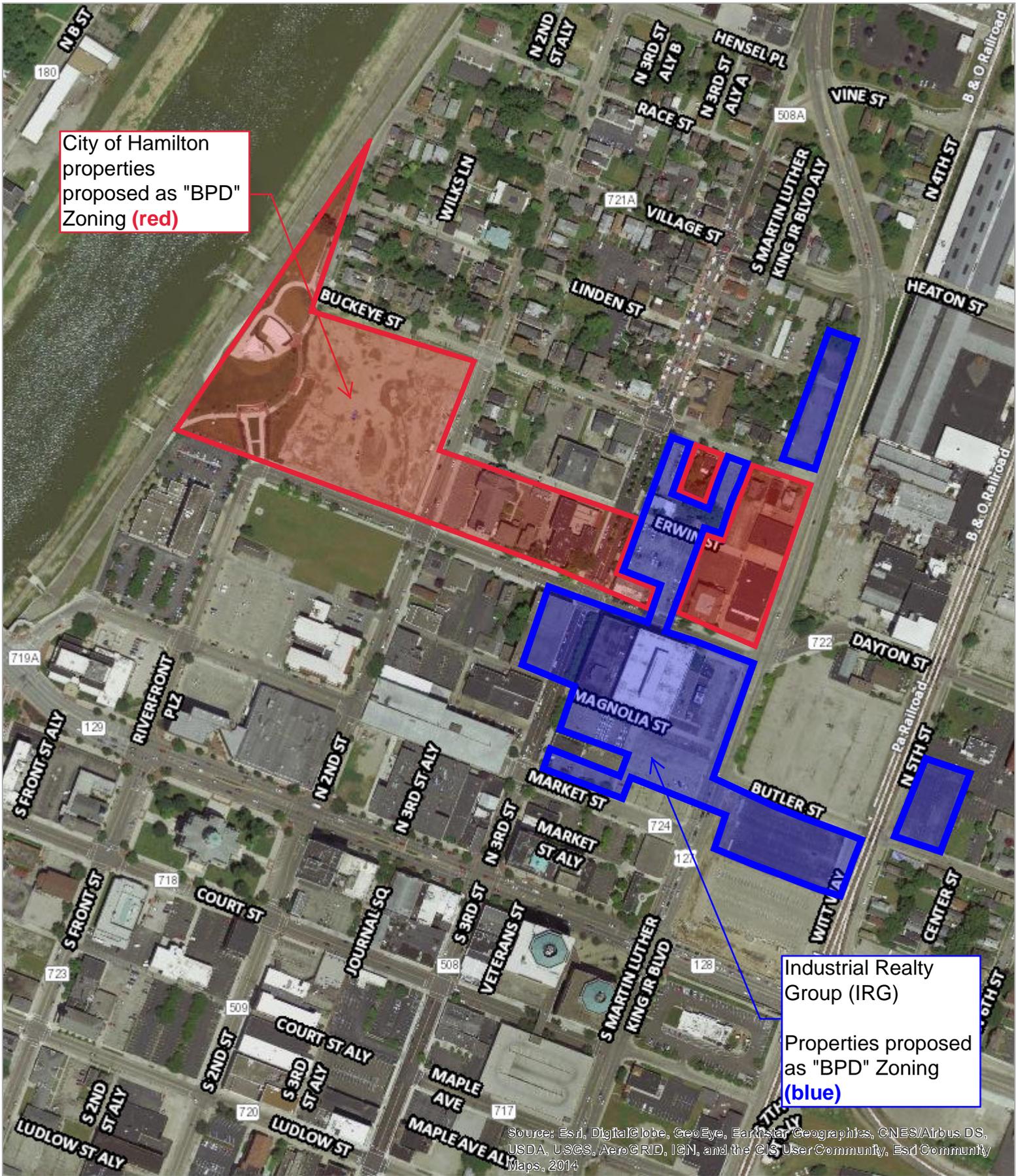
- SITE:** Multiple properties zoned “B-3” within the German Village Historic District & properties owned by Industrial Realty Group (102, 120, 131, 136, 222, & 248 North Third Street; 315 Dayton Street & 341 Linden Street; 119 & 335 North Martin Luther King Jr. Blvd.; 425 Butler Street & 124 North Fifth Street.) (See notification map).
- APPLICANT:** Rex L. Carpenter & City of Hamilton
- REQUEST:** The applicants have submitted requests to change the zoning of specific properties to BPD (Business Planned Development) (see notification map).

An application for this project is on file and available for your review at the Planning Department located at 345 High Street, Suite 350, and on the city website at:
<https://www.hamilton-oh.gov/planningcommission>

If you have any comments concerning this matter, you may appear at the public hearing or you may forward your comments to the Planning Department in writing for presentation at the meeting.

If you or anyone planning to attend this hearing have a disability for which we need to provide accommodations, please notify staff of your requirements at least seven (7) days prior to the public hearing. The phone number for the Planning Department is 513.785.7350.

Nick Garuckas
City Clerk
City of Hamilton, Ohio



Notice Map



The filing and payment due date for tax year 2019 has been extended to July 15, 2020. Additionally, the 2020 first and second quarter estimate due dates are now both on July 15, 2020. ×



Services Explore Business Questions
Info



Planning Commission.

The Planning Commission is responsible for reviewing rezoning, planned unit developments, preliminary and final subdivision plats, street and alley vacations, street name changes, and then forwarding recommendations to the City Council for final action.

Commission Procedures

Read the Planning Commission Rules of Procedure (PDF) / Planning Commission By-Laws online.

Planning Commission Forms

General Use Planning Application
Conditional Use Application ***NEW*** -
2020

June 4, 2020 Planning Commission Meeting

Public Meeting | 1:30 P.M. | 345 High Street, Hamilton, OH

Remote Access (see below):

<https://zoom.us/j/94796217159> **Webinar ID:**
947 9621 7159

TN (Traditional Neighborhood) Rezoning update.

The May 21st, 2020 Planning Commission (TN (Traditional Neighborhood) rezoning proposal, public hearing was again postponed at that meeting. Continual updates will be posted on the Planning Department website and Planning Commission website. At a future date, the Planning Department will provide notice of the new public hearing via mail notice, and information on this website.

For the TN Rezoning proposal and all other Planning Commission inquiries - the Planning Department encourages people to email or call

with their questions and comments. Email:
planning@hamilton-oh.gov or (513) 785-7350

Planning Commission Cases and Notice of Public Hearings

This space contains the online posted notices of Public Hearings, upcoming cases, and tentative schedule of upcoming meetings for Planning Commission.

Board Calendar & Schedule of Meetings:
[2020 Calendar]

Questions concerning upcoming meetings, cases, or other inquiries can be directed to Ed Wilson, Associate Planner II

Email: edward.wilson@hamilton-oh.gov |
 Phone: (513) 785-7029

May 21, 2020 - Agenda

Please click the link below to join the webinar:

<https://zoom.us/j/94796217159>

Webinar ID: 947 9621 7159

Remote Access:

The Planning Commission meeting is open to the public. However, due to the State of Emergency related to COVID-19, the Planning Department is encouraging those who are comfortable participating in the public hearing remotely to do so.

The Planning Commission meeting will be held via Zoom webinar. Per usual procedure and per Ohio's Sunshine Laws and Public Hearing requirements, the meeting shall be recorded by audio. Anyone can use the website link or dial into the meeting using the following information (see below).

Please click the link below to join the webinar:

<https://zoom.us/j/94796217159> **Webinar ID: 947 9621 7159**

One tap mobile: +13017158592,,94796217159#
 or +13126266799,,94796217159#

Or Telephone: Dial +1 (929) 205-6099 and when prompted dial the webinar ID:

Webinar ID: 947 9621 7159

Regular Board Meetings.

One tap mobile:

+13017158592,,94796217159# or
13126266799,,94796217159#

Or Telephone: Dial +1 (929) 205-6099
and when prompted dial the webinar ID:

Webinar ID: 947 9621 7159

**Agenda Item #1 (Public Hearing):
Proposed Rezoning of properties in
German Village to "BPD" (Business
Planned Development) - Rex L.**

*Carpenter on behalf of Hamilton 131 3rd
LLC, Hamilton 136 3rd LLC, and 315
Dayton LLC, Applicant*

An application pertaining to four (4)
requests:

1. Change the zoning of properties from B-3 (Community Business Zoning District), DT-2 (Downtown-2 Form Based Zoning District), DT-1 (Downtown-1 Form Based Zoning District), and R-O (Multi-Family Office Zoning District) to BPD (Business Planned Development Zoning District)
2. Final Planned Development Plan for Third & Dayton
3. Specific Use Approval for Self-Storage Facility, located at 131 North Third Street (former print shop)
4. Six (6) Waivers from the Self-Storage Conditions from BPD Zoning District standards

Planning Commission meetings are public meetings regularly held on the 1st and 3rd Thursday of every month. The first meeting of the month is a day meeting which begins at 1:30 pm. The second meeting of the month is an evening meeting which begins at 6:00 pm. Special meeting times and dates will be scheduled as necessary.

All meetings are held in the Hamilton City Council Chambers located at 345 High Street in Hamilton Ohio 45011.

Agenda & Minutes

For agenda and meeting minutes to prior board meetings, please submit a request to brandon.saurber@hamilton-oh.gov

Agendas

Planning Commission Meeting

Jun 4, 2020 · 6:00 PM – 8:00 PM

Planning Commission Meeting

Jun 18, 2020 · 6:00 PM – 8:00 PM

Planning Commission Meeting

Jul 2, 2020 · 6:00 PM – 8:00 PM

Planning Commission Meeting

Jul 16, 2020 · 6:00 PM – 8:00 PM

Map of proposed rezoning (Applicant properties are in blue): [Map]

**Agenda Item #2 (Public Hearing):
Proposed Rezoning of properties in German Village to "BPD" (Business Planned Development), and to amend the German Village BPD Plan & Neighborhood Plan - City of Hamilton, Applicant**

A request to rezone properties from "B-3" (Central Business) district to "BPD" (Business Planned Development) district. Proposed rezoning is to make the zoning in German Village consistent as BPD. This also includes, a request to amend the German Village Plan due to the proposed rezoning.

Map of proposed rezoning (Applicant properties are in red): [Map]

POSTPONED:

(PUBLIC HEARING): TN (Traditional Neighborhood) Rezoning proposal for specific properties in Lindenwald and Prospect Hill.

Due to the health emergency of COVID-19, the public hearing for the TN (Traditional Neighborhood) Rezoning proposal for Lindenwald and Prospect Hill was postponed at the May 21st meeting. At a future date, the Planning Department will re-notice the rezoning proposal through mailing.

Planning Commission Applications

These are general applications that require review and/or approval from the Planning Commission. Please contact the Planning Department for further information.

Planned Development (PD) Application

Specific Use Application

Conditional Use Application

Lindenwald: Proposed Rezoning Map
[Here] | List of Properties [Here]

Prospect Hill: Proposed Rezoning Map
[Here] | List of Properties [Here]

Public Hearings at City Council (Commission Cases)

City Council: June 24, 2020

PUBLIC HEARING: Request to rezone specific properties to BPD (Business Planned Development).

Multiple properties zoned "B-3" within the German Village Historic District & properties owned by Industrial Realty Group (102, 120, 131, 136, 222, & 248 North Third Street; 315 Dayton Street & 341 Linden Street; 119 & 335 North Martin Luther King Jr. Blvd.; 425 Butler Street & 124 North Fifth Street.) (See *Full Public Hearing Notice and Map below*).

Posted: May 21, 2020. Public Hearing Notice: [Link]

Proposed Map of Rezoning [Here]

City Council: May 27, 2020

PUBLIC HEARING: Request to amend the Hamilton Zoning Ordinance (HZO), - pertaining to Supportive Housing, Clinics, Inpatient Rehab

Posted: April 21, 2020. Public Hearing Notice: [\[Link\]](#)

PUBLIC HEARING: Request to amend the Hamilton Zoning Ordinance (HZO), - pertaining to Automobile Related Conditional Uses

Posted: April 21, 2020. Public Hearing Notice: [\[Link\]](#)

PUBLIC HEARING: Request to amend the Hamilton Zoning Ordinance (HZO), Section 1111.00 - Commercial Design Standards (concrete facade item)

Posted: April 21, 2020. Public Hearing Notice: [\[Link\]](#)

PUBLIC HEARING: Request to amend the Hamilton Zoning Ordinance (HZO), Section 1110.00 - Residential Design Standards (for accessory structures) & Section 1131.00 - Special Provisions (non-conforming lots).

Posted: April 21, 2020. Public Hearing Notice: [\[1110 notice\]](#) & [\[1131 notice\]](#)

Board Members

- Dale McAllister (Chair)
- Matthew Von Stein, Citizen Member
- Patrick Moeller, Mayor
- Joshua A. Smith, City Manager
- Lisa Sandlin, Alternate Member #1
- Larry Bowling, Alternate Member #2
- Shaquila Mathews, School Board Representative
- Teri Horsley, Citizen Member
- David Belew, Citizen Member
- Liz Hayden, Planning Director
Commission Secretary

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EMERGENCY ORDINANCE NO. _____

AN EMERGENCY ORDINANCE AMENDING THE CITY OF HAMILTON ZONING ORDINANCE NO. 7503, BY CHANGING THE ZONING OF THE PROPERTY LOCATED AT PARCEL NUMBERS: P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066, SITUATED IN THE CITY OF HAMILTON, BUTLER COUNTY, OHIO, SECOND, THIRD, AND FOURTH WARDS, FROM VARIOUS ZONING DISTRICTS TO BPD (BUSINESS PLANNED DEVELOPMENT) DISTRICT. (Rex L. Carpenter, Applicant).

WHEREAS, Rex L. Carpenter, on behalf of the property owner Industrial Realty Group, proposed the rezoning of eight (8) parcels to BPD (Business Planned Development) Zoning District; and

WHEREAS, said rezoning request is for eight (8) parcels that have operated as a single campus for many years; and

WHEREAS, the property owner provided a Final Planned Development Plan that describes several uses including housing, hospitality, retail, office, self-storage facility, light industrial, and parking supporting these uses; and

WHEREAS, the BPD (Business Planned Development) Zoning District ensures orderly and thorough planning and review procedures that lead to higher quality design and development and enables greater review of design characteristics to ensure that the development project is properly integrated into its surroundings and is compatible with adjacent development; and

WHEREAS, all of the owners of property located within five hundred (500) feet of the area in question were notified of a public hearing on said rezoning request held at the Hamilton Planning Commission meeting of June 4, 2020; and

WHEREAS, the City Planning Commission reviewed the request to rezone the property and after holding a public hearing and consideration on June 4, 2020, the Planning Commission recommended that City Council approve the request to rezone these eight (8) parcels to (BPD) Business Planned Development Zoning District, with conditions; and

WHEREAS, Council desires to adopt such rezoning to the City's Zoning Ordinance No. 7503; and

WHEREAS, the subject matter herein constitutes an emergency measure in that it provides for the immediate preservation of the public peace, property, health, and safety of the community by:

- Facilitating the applicant's construction and development timeline for the Third + Dayton project, and the proposed reuse of 131 North Third Street as self-storage, due to the unique circumstances and time constraints of the project.
- Facilitating sale, maintenance, improvements, and reinvestment in Ohio Casualty a recently renewed office and print shop that have been vacant for over ten (10) years.
- Creating a definitive single Final Planned Development for the properties in question, codifying the properties as a single development and allowing the generation of interest of the properties and Third + Dayton development for further investment and interest in the City.
- Following the recommendations of the City's Comprehensive Plan, Plan Hamilton, by facilitating the desired uses for the property and the area in question, as residential development via apartments, and commercial uses through the reutilization of long-vacant historic and significant buildings integral to Hamilton's Core. The development would be harmonious with the development patterns, uses, and intent of the Hamilton Core future land use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Hamilton, Ohio:

Emergency Ordinance No. _____ (Cont'd)

SECTION I: That the zoning of the following described lot, to-wit:

- (1) Property located at Parcel Numbers P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066, of the City of Hamilton, Butler County, Ohio

as set forth in detail in Exhibit No. 1, attached hereto, made a part hereof and incorporated herein by reference, be and are hereby changed from B-3 (Central Business Zoning District), DT-2 (Downtown-2 Form Based Zoning District), DT-1 (Downtown-1 Form Based Zoning District), and R-O (Multi-Family Office Zoning District) to BPD (Business Planned Development Zoning District), and the District Map provided by Section 1103.00, Establishment of Use Districts and Subdistricts, of the City of Hamilton Zoning Ordinance No. 7503 shall be altered to show such changes.

SECTION II: That said conditions of rezoning include the conditions listed on Exhibit No. 2, Conditions of Approval attached hereto, incorporated herein by reference and made a part hereof.

SECTION III: This ordinance is hereby declared to be an emergency measure for the reasons set forth in the preamble and shall take effect and be in full force from and after its passage.

PASSED: _____

Mayor

Effective Date: _____

ATTEST: _____

City Clerk

CERTIFICATE

I, Nicholas Garuckas, City Clerk of the City of Hamilton, Ohio, State of Ohio, hereby certify that the foregoing Emergency Ordinance No. _____ was duly published as provided by Section 113.01 of the Codified Ordinances of the City of Hamilton, Ohio, by posting ten days after passage, a copy thereof in the lobby of City Hall for a period of ten days. POSTED: _____.

Nicholas Garuckas, City Clerk
CITY OF HAMILTON, OHIO

EXHIBIT NO. 1

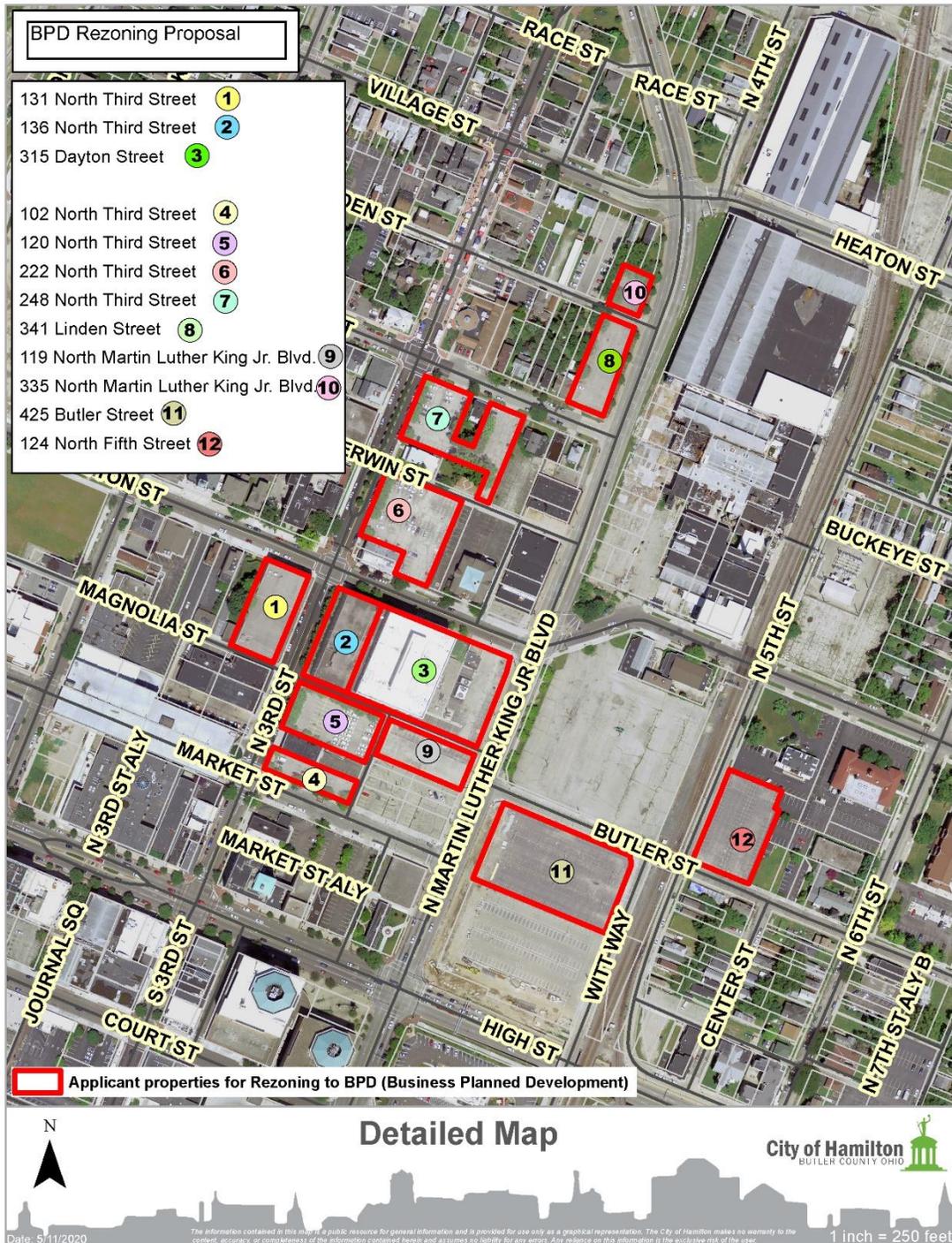


EXHIBIT NO. 2

APPLICATION INFORMATION	
Applicant/Property Owner	Rex L. Carpenter/Industrial Realty Group
Property Location	Parcel Numbers P6421002000095, P6441001000040, P6441001000001, P6441001000036, P6441001000035, P6441001000030, P6441002000069, P6431012000066
Current Zoning	B-3 (Central Business Zoning District), DT-2 (Downtown-2 Form Based Zoning District), DT-1 (Downtown-1 Form Based Zoning District), and R-O (Multi-Family Office Zoning District)
Proposed Zoning:	BPD (Business Planned Development)

Request: Rex L. Carpenter is requesting to change the zoning of property to BPD (Business Planned Development) District.

Conditions of Approval:

1. The Final Development Plan shall be dependent upon the approval of the Rezoning of properties to BPD (Business Planned Development).
2. The Specific Use for Self-Storage at 131 North Third Street shall be dependent upon the approval of the rezoning of properties to BPD (Business Planned Development).
3. All development will be subject to approval through the Interdepartmental Review process and shall be compliant with the Commercial Designs Standards set forth in Section 1111.00 of the Zoning Ordinance.
4. Landscaping, site improvements, and all exterior finishes and other improvements be installed and maintained in good repair and replaced as necessary to remain in compliance with the approved Final Development Plan.
5. Any exterior changes to 136 North Third Street shall require Architectural Design Review Board approval given its designation as a locally designated historic building.
6. The self-storage facility at 131 North Third Street's signage shall be regulated in the following ways:
 - a. No banner, flag, or window signage permitted.
 - b. No signage on the Dayton Street side of the building shall be illuminated after 9 pm daily.
 - c. The signage will be similar in size, scale, and material as the signage examples submitted by the applicant, included in Exhibit C.
 - d. All future signs shall conform to the requirements of Section 1138.00, of the Hamilton Zoning Ordinance, Signage Regulations.
7. The property owner of 131 North Third Street shall work with City staff to find a way to activate the pedestrian level of the building. The self-storage company will explore options, including supporting a StreetSpark mural at the pedestrian level of the building. Final proposal will be approved by City staff.
8. The applicant shall work with the Department of Engineering to determine an appropriate location for a new overhead door at 131 North Third Street.

Emergency Ordinance No. _____ (Cont'd)

9. Any of the following would require an additional future Specific Use approval:
 - a. Self-storage on parcels other than 131 North Third Street.
 - b. Exterior storage of self-storage/dead-storage items anywhere within the Planned Development project area.
 - c. Parking of vehicles associated with moving businesses, self-storage, fleet storage, or other commercial vehicles for rent anywhere within the Planned Development project area.
10. All dumpsters and refuse storage areas shall be enclosed and screened in accordance with the Commercial Design Standards. All trash and debris shall be stored in enclosed dumpsters. No trash, debris, or storage unit goods shall be placed within the public right-of-way.
11. All required permits and inspections shall be obtained prior to the self-storage business commencing operation.
12. The findings of approval for the requested waivers and modifications are consistent with the requirements of the Zoning Ordinance necessary for granting such requests.
13. All conditions shall be maintained while the business is located at his location. If at any time the property is not in compliance with this approval a Notice of Violation will be sent to the applicant allowing thirty (30) days to achieve compliance.